

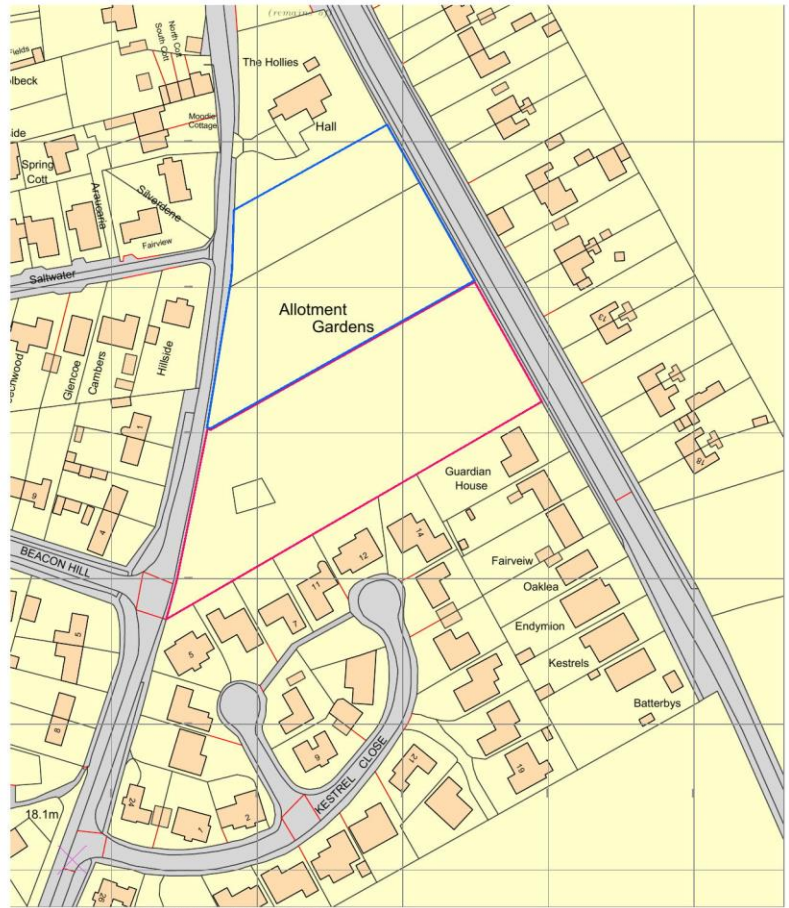
Planning Committee

4 December 2023



23/00496/FM





LEGEND
 — APPLICATION SITE BOUNDARY
 — OTHER LAND OWNED BY APPLICANT

0 10 20m
 BASED ON SITE SURVEY 2022 BY RIGOUR SURVEY

ordnance Survey, (c) Crown Copyright 2022. All rights reserved. Licence number 100022432

REV	DATE	CHG	AMENDMENTS	NOTES
001	15/01/2023	001	Initial Planning Issue	

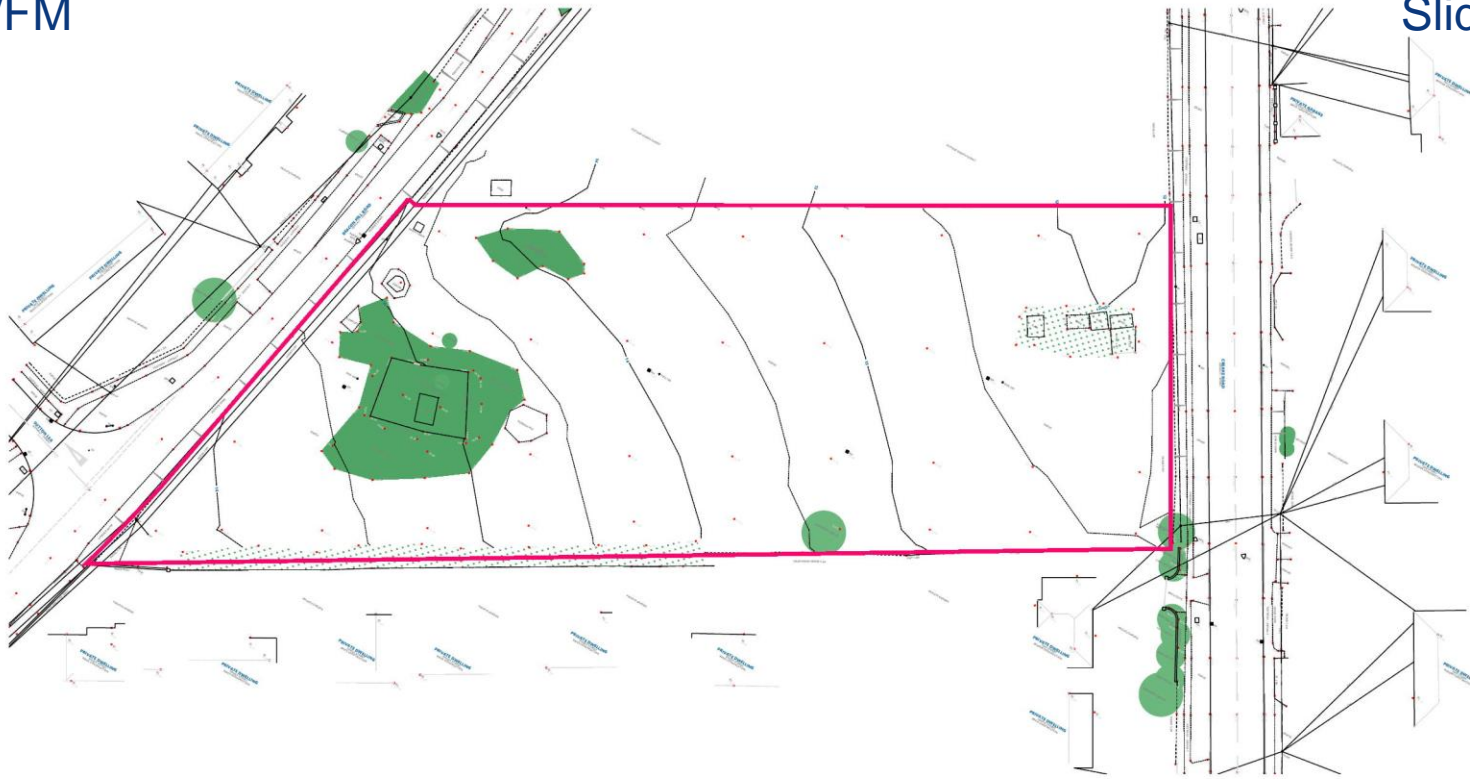
Borough Council of
**King's Lynn &
 West Norfolk**

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION

Feilden+mawson
 CLIENT: **Holkham**
 208
 Creake Road Burnham Market

PLANNING
 SCALE 1:1250 PARKS A3 DATE 02/2023

JOB	9645	DWG	001	REV	POG
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LEGEND
 — APPLICATION SITE BOUNDARY

0 5 10 20m
 BASED ON SITE SURVEY 2022 BY RIGOUR SURVEY

REV	DATE	CHG	AMENDMENTS	NOTES
001	15.03.2023	AW	Initial Planning Issue	

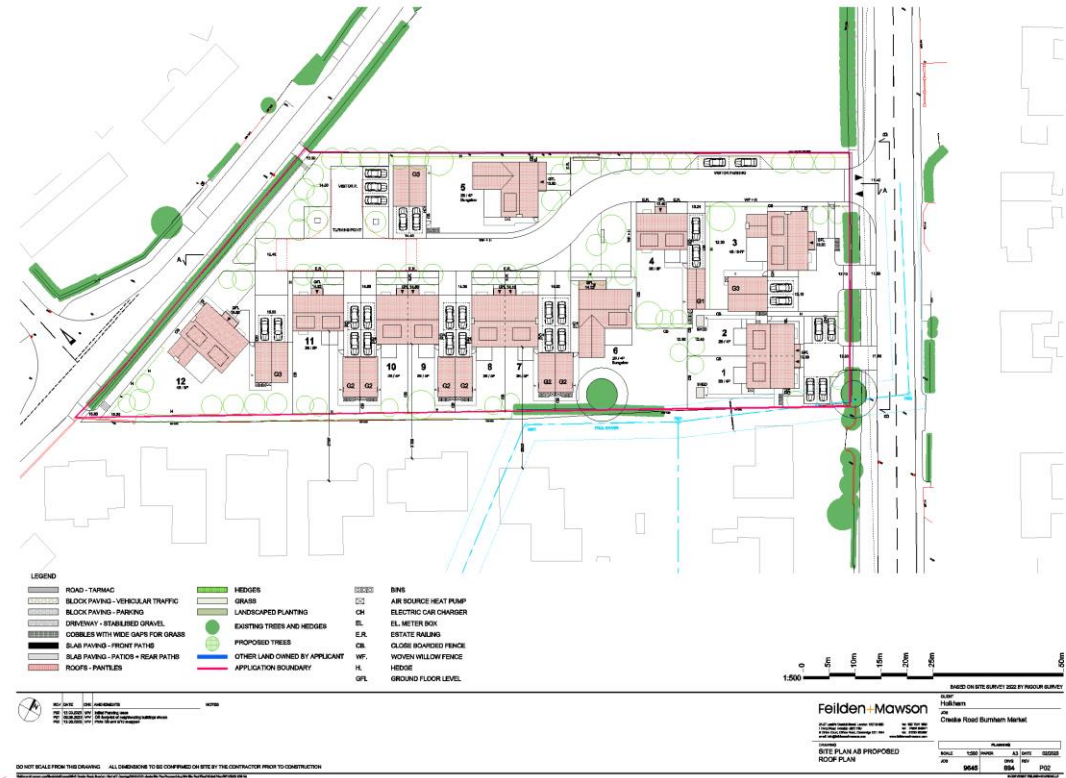
DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION

Borough Council of
**King's Lynn &
 West Norfolk**

Feilden+Mawson
 21-23 Colchester Road, Norwich, Norfolk, NR1 2AA
 01603 260000
 feilden@mawson.com

CLIENT
Holkham
 208
 Creake Road Burham Market

DRAWING			
SCALE	PLANNING	DATE	REV
1:500	PARKS	A3	02/2023
JOB	9645	DWG	002
		REV	P00





DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION.



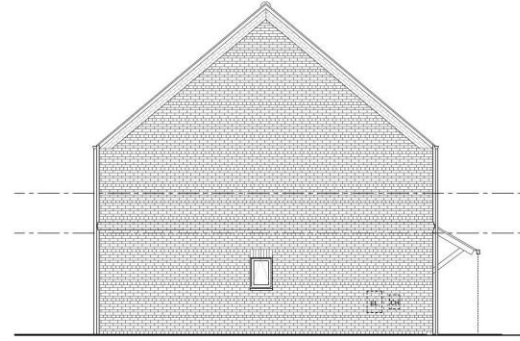








STREET ELEVATION



SIDE ELEVATION

MATERIALS LEGEND:



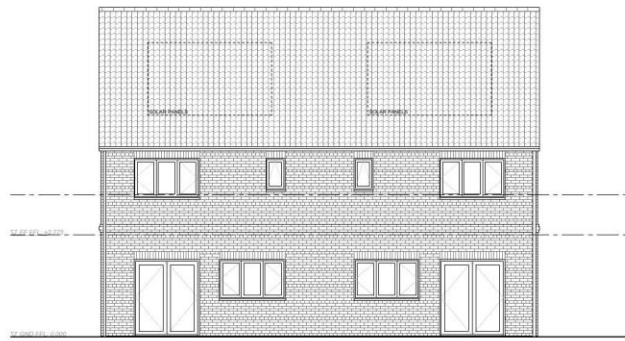
NORFOLK RED
COLOURED MORTAR
LAID TO COMMON
BRICK BOND



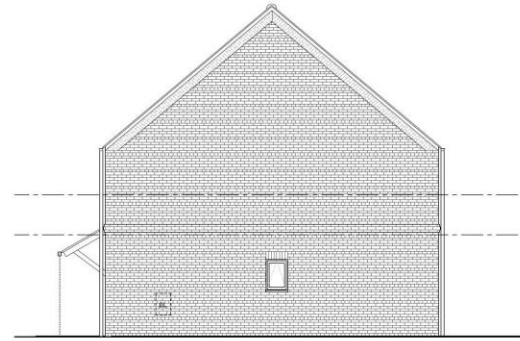


NORFOLK NATURAL
RED PANTILES





GARDEN ELEVATION

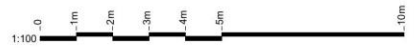


SIDE ELEVATION

PLOT 1, 2
2B / 4P SEMI-DETACHED

REV	DATE	CHKD	AMENDMENTS	NOTES
001	12/11/2023	MM	Final Planning/Permit	
002	12/11/2023	MM	Final Planning/Permit	
003	12/11/2023	MM	Final Planning/Permit	

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION



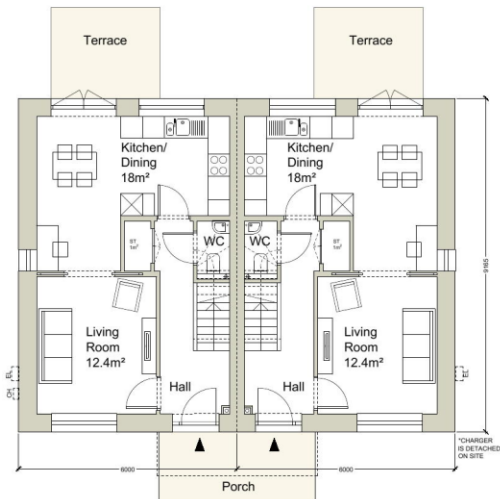
Feilden + Mawson

125-126 King's Lynn Road, King's Lynn, Norfolk PE36 6JG
 01553 835000
 www.feildেন.com

CLIENT: **Holkham**

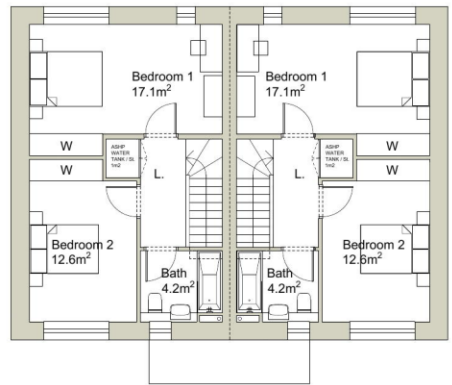
JOB: **Creake Road Burmah Market**

DRAWING			
SCALE	DWG	DATE	REV
1:100	PAVKS	A3	02/02/23
JOB: 9645		DWG: 051	REV: P02



GROUND FLOOR
43.3 sqm GIA

PLOT 1 & 2
2B / 4P SEMI-DETACHED
Total 86.8 sqm GIA



FIRST FLOOR
43.3 sqm GIA



REV	DATE	CHK	AMENDMENTS	NOTES
REV	13.10.2022	MW	Final Planning Issue	
REV	12.07.2022	MW	Minor amendments & formalisation	

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION

Feilden + Mawson

CLIENT: **Holkham**
JOB: **Creake Road Burgham Market**

PLANNING
SCALE: 1:100 PAPER: A3 DATE: 02/2023
JOB: **9645** REV: **050** P01

PROJECT: **PLOT 1 & 2**
Floor Plans

100%
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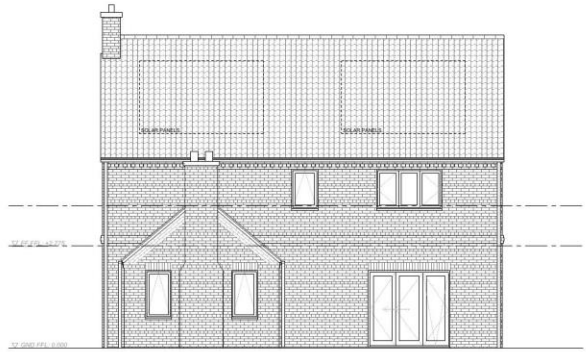
STREET ELEVATION



SIDE ELEVATION

MATERIALS LEGEND:

-   NORFOLK RED COLOURED MORTAR LAID TO COMMON BRICK BOND
-   FLINT
-   NORFOLK NATURAL RED PANTILES
-   TIMBER CLADDING



GARDEN ELEVATION



SIDE ELEVATION

PLOT 3
4B / 6-7P DETACHED

REV	DATE	CHKD	AMENDMENTS	NOTES
001	12.11.2023	MM	Final Plans/Issues	
002	23.02.2024	MM	Revised Plans/Issues	
003	25.02.2024	MM	Revised Plans/Issues	
004	25.07.2023	MM	Final revision of all drawings	

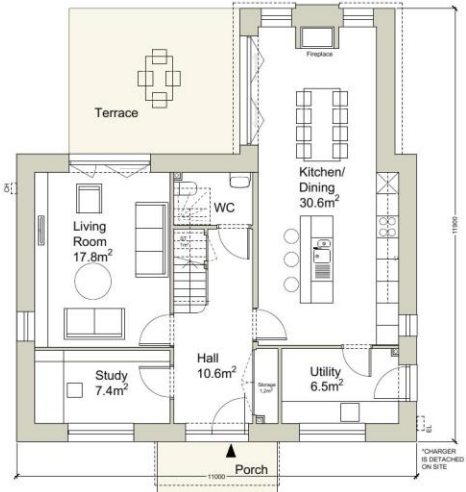
DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION



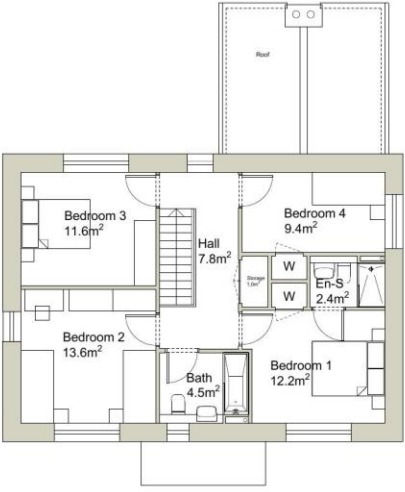
Feilden + Mawson CLIENT: **Holkham**
JOB: **Creake Road Burmah Market**

117-121, Market Street, King's Lynn, Norfolk PE36 3BS
01553 832111
www.feildেন.com

DATE: 02/2023
JOB: 9645
DWS: 053
REV: P03

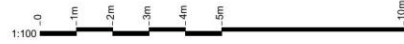


GROUND FLOOR
82sqm GIA



FIRST FLOOR
69sqm GIA

PLOT 3
4B / 6-7 P DETACHED
Total 151sqm GIA



REV	DATE	CHK	AMENDMENTS	NOTES
REV 1	12.10.2023	MW	Issue Planning Portal	
REV 2	12.10.2023	MW	Minor alterations to landscaping	
REV 3	12.10.2023	MW	CF final amendments to drawings	

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION

Feilden + Mawson

CLIENT: **Holkham**
JOB: **Creake Road Burnham Market**

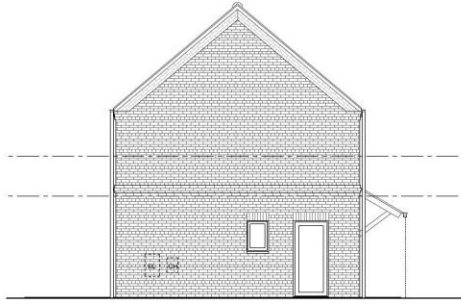
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DRAWING: **PLOT 3 Floor Plans**

PLANNING			
SCALE	1:100	PAPER	A3
DATE	02/2023		
JOB	9645	DWG	052
REV	P02		



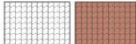



STREET ELEVATION



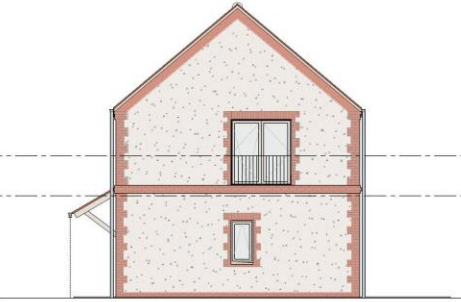
SIDE ELEVATION

MATERIALS LEGEND:

-  NORFOLK RED COLOURED MORTAR LAID TO COMMON BRICK BOND
-  FLINT
-  NORFOLK NATURAL RED PANTILES
-  TIMBER CLADDING



GARDEN ELEVATION

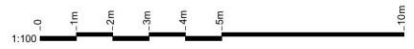


SIDE ELEVATION

PLOT 4
3B / 5P DETACHED

REV	DATE	CHK	AMENDMENTS	NOTES
001	15.11.2023	MM	Final Plans/Drawings	
002	15.11.2023	MM	Revised to incorporate B1 aspect	
003	20.01.2024	MM	Structures highlighted. Note on mortar amended.	

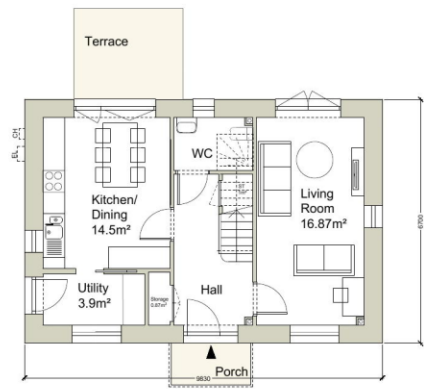
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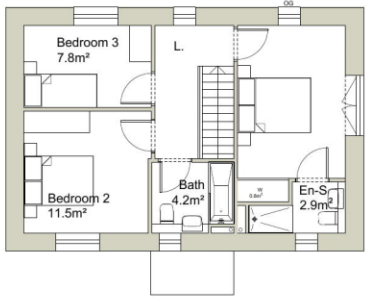
Feilden + Mawson
 174-176A, Norwich Road, Norwich, Norfolk, NR1 3AA
 01603 282000
 www.feildenmawson.com

CLIENT: **Holkham**
 JOB: **Creake Road Burham Market**

ISSUING: **PLANNING**
 DRAWING: **PLOT 4 Elevations**
 SCALE: 1:100
 PAPER: A3
 DATE: 02/2024
 JOB: 9645
 REV: 055
 P03

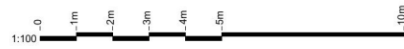


GROUND FLOOR
50.3 sqm GIA



FIRST FLOOR
50.3 sqm GIA

PLOT 4
3B / 5P DETACHED
Total 100.6 sqm GIA



REV	DATE	CHK	AMENDMENTS	NOTES
REV 1	12.08.2023	MM	Final Planning Stage	
REV 2	12.08.2023	MM	Local Authority SET report	
REV 3	20.08.2023	MM	Minor amendments to specification	

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Borough Council of
**King's Lynn &
West Norfolk**

Feilden + Mawson

CLIENT: **Holkham**
JOB: **Creake Road Burgham Market**

117-121, Colchester Road, Colchester, Essex, CO1 1JH
0206 300300
www.feildencoastal.com

0206 300300
0206 300301
0206 300302
www.feildencoastal.com

DRAWING			
SCALE	1:100	PAPER	A3
DATE	02/2023	JOB	REV
02/2023	054	9645	P02



17 (04) P21 - 0100
STREET ELEVATION



SIDE ELEVATION

MATERIALS LEGEND:

- NORFOLK RED COLOURED MORTAR LAID TO COMMON BRICK BOND
- FLINT
- NORFOLK NATURAL RED PANTILES



17 (04) P21 - 0100
GARDEN ELEVATION



SIDE ELEVATION

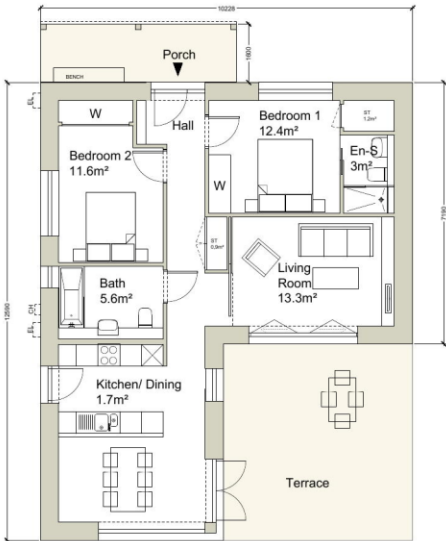
**PLOT 5
2B / 4P BUNGALOW**

REV	DATE	CHKD	AMENDMENTS	NOTES
001	23.03.2023	MM	Final Plans/Issues	
002	23.03.2023	MM	Revised window and door	Additional notes on site
003	28.03.2023	MM	Additional notes on BT window	Additional note on canopy. Note on mortar amended.

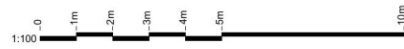
DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION



Feilden + Mawson
 CLIENT: Holkham
 JOB: Create Road Burham Market
 DRAWING: PLOT 5 Elevations
 SCALE: 1:100
 DATE: 02/2023
 JOB NO: 9645
 REV: 057
 P03



PLOT 5
 2B / 4P BUNGALOW
 GROUND FLOOR
 Total 78.8sqm GIA



REV	DATE	CHK	AMENDMENTS	NOTES
001	12.02.2023	MW	Initial Floor Plan	
002	12.02.2023	MW	Minor alterations to floor plan	
003	12.02.2023	MW	Minor amendments to floor plan	

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION

Feilden + Mawson
 1st Floor, 20-22, Market Street, King's Lynn, Norfolk, PE36 3AA
 Tel: 01553 833333 Fax: 01553 833334
 Email: info@feildenmawson.com www.feildenmawson.com

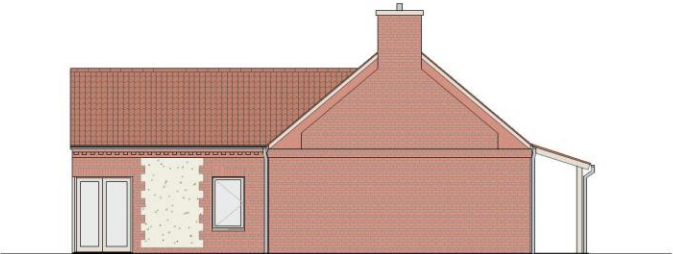
CLIENT: **Holkham**
 JOB: **Creake Road Burgham Market**

DRAWING			
SCALE	DATE	DATE	DATE
1:100	PAWES	A3	02/2023
JOB	REV	DATE	REV
9645	056		P02

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STREET ELEVATION



SIDE ELEVATION

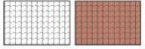
MATERIALS LEGEND:



NORFOLK RED
COLOURED MORTAR
LAID TO COMMON
BRICK BOND



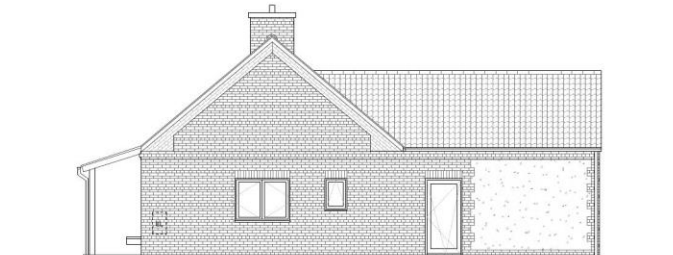
FLINT



NORFOLK NATURAL
RED PANTILES



GARDEN ELEVATION

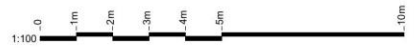


SIDE ELEVATION

PLOT 6
2B / 4P BUNGALOW

REV	DATE	CHKD	AMENDMENTS	NOTES
001	23.03.2023	MM	Final Plans/Spec	
002	23.03.2023	MM	Revised window alignment	
003	28.06.2023	MM	Additional material to B1 kerbside. Additional post on canopy. Note on master amended.	

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION



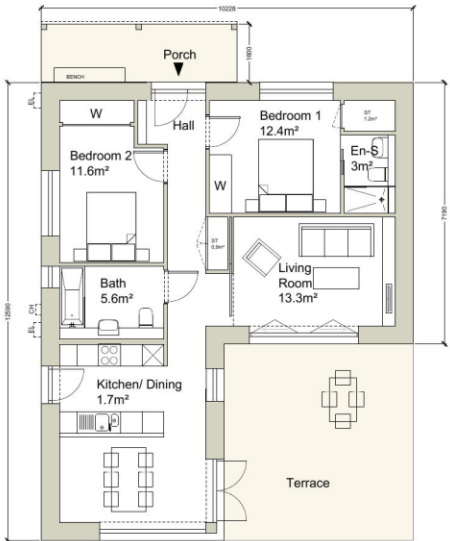
Feilden + Mawson
 17-19 Colchester Road, Norwich, Norfolk, NR1 1AA
 01603 25000
 www.feildেন.com

CLIENT: **Holkham**
 JOB: **Creake Road Burham Market**

DRAWING: **PLOT 6 Elevations**

SCALE	DATE	REV	DATE
1:100	02/2023	001	02/2023
		002	
		003	

JOB: **9645** REV: **003**



PLOT 6
 2B / 4P BUNGALOW
 GROUND FLOOR
 Total 75sqm GIA



REV	DATE	CHK	AMENDMENTS	NOTES
REV 1	13.10.2023	MM	Final Floor Plan	
REV 2	13.10.2023	MM	Minor Revise only	
REV 3	13.10.2023	MM	Minor amendments to floor plan	

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION

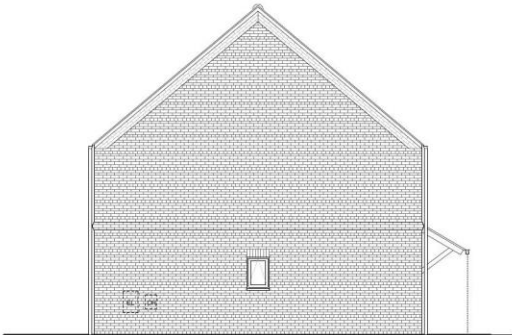
Feilden + Mawson

CLIENT: **Holkham**
 JOB: **Creake Road Burreham Market**

PLANNING
 SCALE: 1:100 PAPER: A3 DATE: 02/03/23
 JOB: **9645** REV: **058** PLOT: **P02**



STREET ELEVATION



SIDE ELEVATION

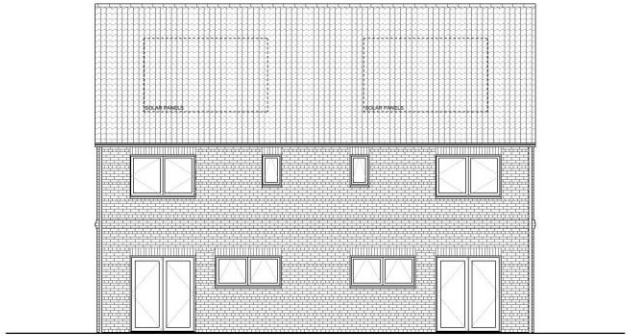
MATERIALS LEGEND:



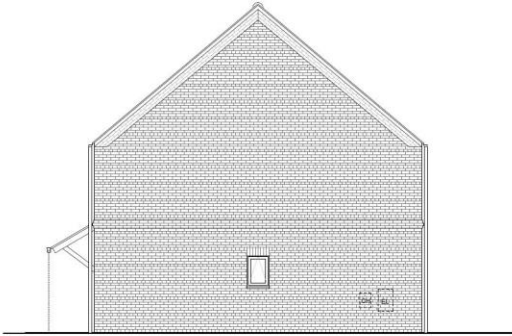
NORFOLK RED
LIME MORTAR
LAID TO COMMON
BRICK BOND



NORFOLK NATURAL
RED PANTILES



GARDEN ELEVATION

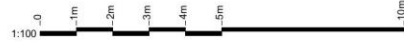


SIDE ELEVATION

PLOT 7 & 8
2B / 4P SEMI-DETACHED

REV	DATE	BY	CHKD	AMENDMENTS	NOTES
001	15.03.2023	AM		Initial Planning Issue	

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION

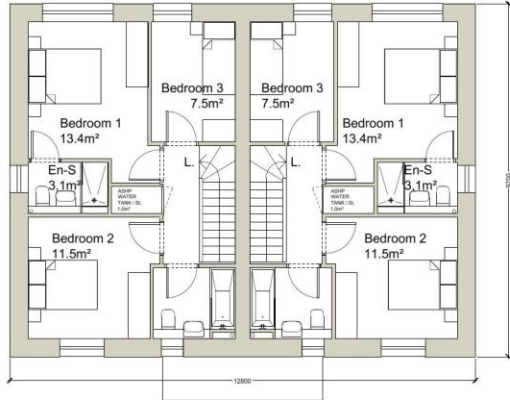
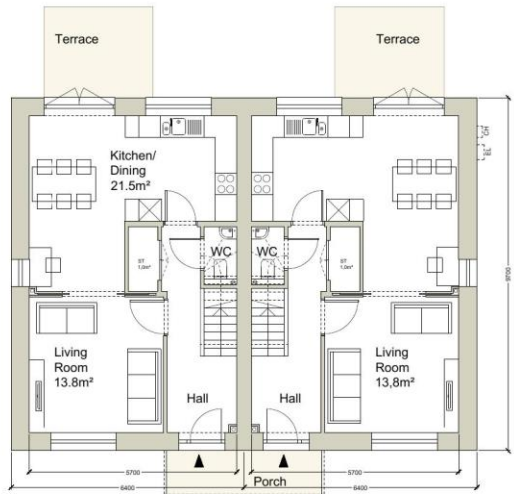


Feilden + Mawson
 201-203 Market Street, King's Lynn, Norfolk PE36 6BA
 01553 835271
 www.feildenmawson.com

CLIENT: **Holkham**
 JOB: **2B / 4P SEMI-DETACHED**
 OFFICE: **Create Road Burham Market**

DRAWING			
SCALE	1:100	PAPER	A3
DATE	02/2023 <th>REV</th> <td>001 </td>	REV	001
JOB	9645 <th>DES</th> <td>POG </td>	DES	POG

PLANNING
PLOT 7 & 8
Elevations



PLOT 7 & 8
3B / 5P SEMI-DETACHED
Total 99 sqm GIA

REV	DATE	CHKD	AMENDMENTS	NOTES
REV 1	13.10.2023	MM	Initial Floor Plan Issue	
REV 2	13.10.2023	MM	Minor amendments with Plot 9/10	
REV 3	13.10.2023	MM	Minor amendments to landscaping	

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION



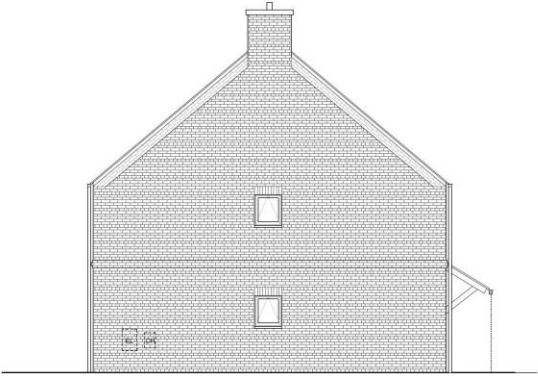
Fellden + Mawson
 114-116, Market Street, King's Lynn, Norfolk, PE36 3BA
 01553 812345
 www.felldenmawson.com

Client: **Holkham**
 Job: **Creake Road Burnham Market**

DRAWING			
SCALE	1:100	PAPER	A3
DATE	02/2023 <th>REV</th> <td>001 </td>	REV	001
JOB NO: 9645		DATE: 05/01	REV: P02



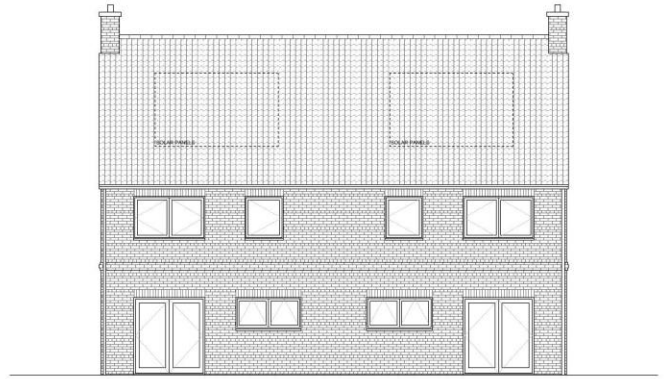
STREET ELEVATION



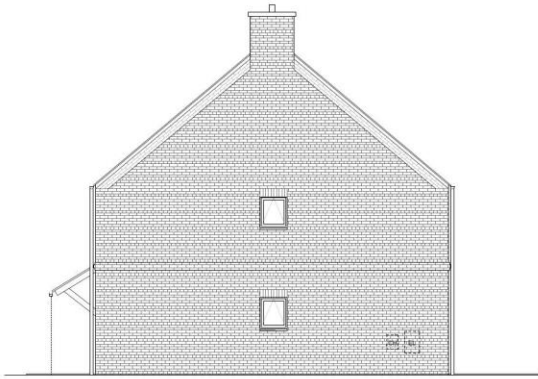
SIDE ELEVATION

MATERIALS LEGEND:

- NORFOLK RED
LIME MORTAR
LAID TO COMMON
BRICK BOND
- FLINT
- NORFOLK NATURAL
RED PANTILES



GARDEN ELEVATION

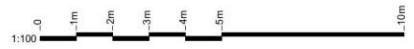


SIDE ELEVATION

PLOT 9 & 10
3B / 5P SEMI DETACHED

REV	DATE	BY	DESCRIPTION	NOTES
001	15.03.2023	AM	Initial Planning Issue	

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION

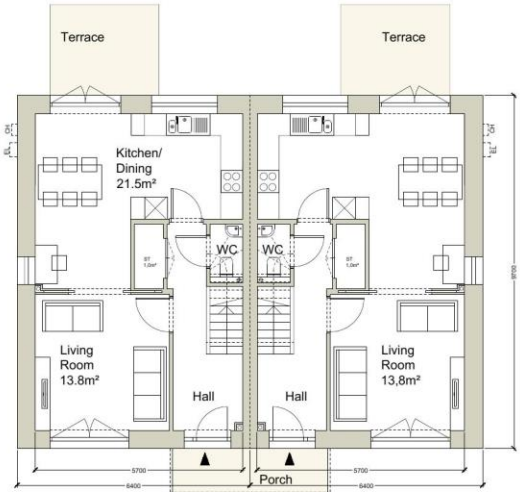


Feilden + Mawson
Architects

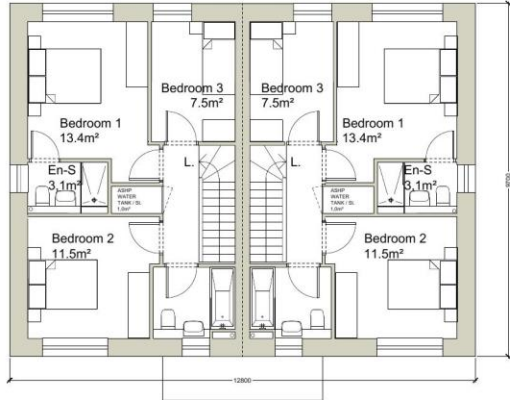
CLIENT: **Holkham**
JOB: **Creake Road Burham Market**

DRAWING: **PLOT 9 & 10 Elevations**

SCALE	1:100	PAPER	A3	DATE	02/2023
JOB	9645	DWG	063	REV	POG

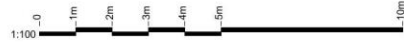


GROUND FLOOR
49.5 sqm GIA



FIRST FLOOR
49.5 sqm GIA

PLOT 9 & 10
3B / 5P SEMI-DETACHED
Total 99 sqm GIA



REV	DATE	BY	AMENDMENTS	NOTES
PRD	15.03.2023	AM	Initial Planning Issue	

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 114-116A, Market Hill, King's Lynn, Norfolk, UK
 220-222, Colton Road, Cambridge, UK
 www.feildenco.com

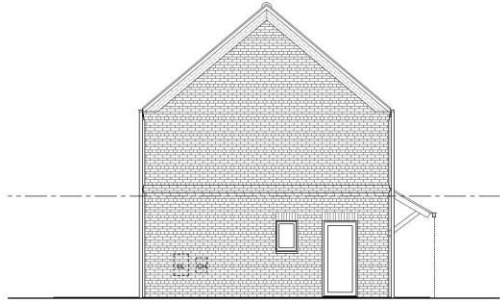
Client: **Holkham**
 Job: **Creake Road Burnham Market**

PLANNING			
SCALE	1:100	PAGES	A3
DATE	02/2023	REV	002
JOB	9645	DIS	POD

Drawings: **PLOT 9 & 10**
Floor Plans




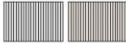


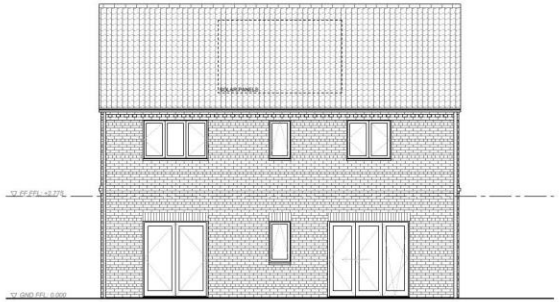
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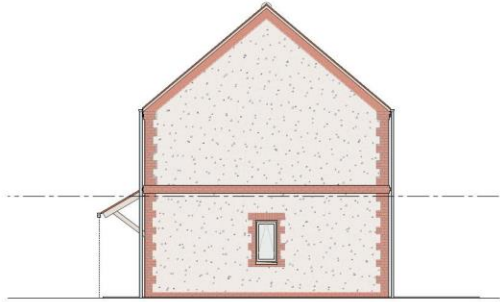
SIDE ELEVATION

MATERIALS LEGEND:

-  NORFOLK RED COLOURED MORTAR LAID TO COMMON BRICK BOND
-  FLINT
-  NORFOLK NATURAL RED PANTILES
-  TIMBER CLADDING



GARDEN ELEVATION



SIDE ELEVATION

PLOT 11
3B / 5P DETACHED

REV	DATE	CHK	AMENDMENTS	NOTES
001	23.03.2023	MM	Final Planning/Spec	
002	23.03.2023	MM	Revisions submitted, window shown on Side Elevation	
003	23.03.2023	MM	Revisions submitted	
004	23.03.2023	MM	Revisions submitted, note on mortar amended	

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Borough Council of
**King's Lynn &
West Norfolk**

Feilden + Mawson

CLIENT: **Holkham**
JOB: **Creake Road Burgham Market**

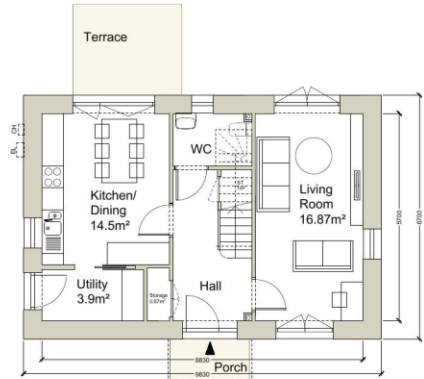
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DRAWING: **PLOT 11 Elevations**

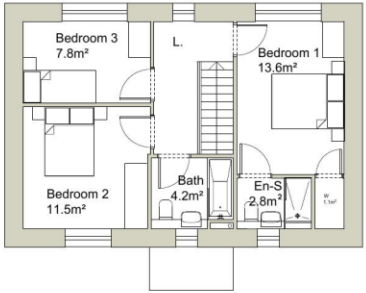
SCALE: 1:100

JOB: **9645** DATE: **02/2023**

REV: **065** REV: **PO3**



GROUND FLOOR
50.3 sqm GIA



FIRST FLOOR
50.3 sqm GIA

PLOT 11
3B / 5P DETACHED
Total 100.6 sqm GIA

REV	DATE	CHK	AMENDMENTS	NOTES
001	15.03.2023	MM	Initial Planning Issue	

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 2nd Floor, 100 Broad Street, London, W1C 0EJ
 1 Finsbury Avenue, London, EC2A 3DU
 100 Broad Street, London, W1C 0EJ
 www.feildenco.com

CLIENT
Holkham
 236
 Createe Road Burreham Market

DRAWING			
SCALE	1:100	PAPER	A3
DATE	02/2023	JOB	9645
REV	064	REV	P00

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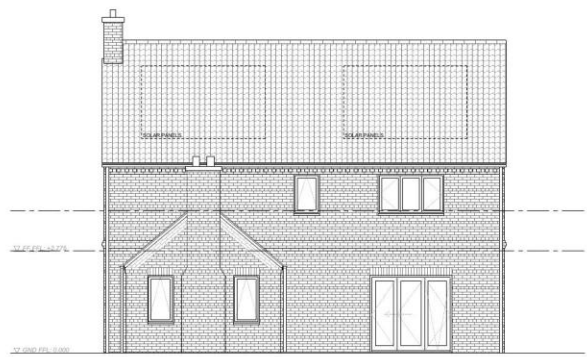
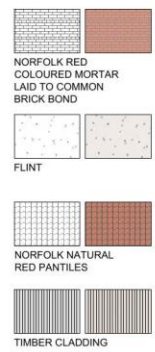


STREET ELEVATION



SIDE ELEVATION

MATERIALS LEGEND:



GARDEN ELEVATION

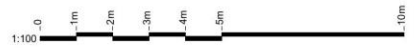


SIDE ELEVATION

PLOT 12
4B / 6-7P DETACHED

REV	DATE	CHKD	AMENDMENTS	NOTES
001	12.11.2023	MM	Final Plans/Check	
002	12.11.2023	MM	Revised Plans/Check	
003	12.11.2023	MM	Revised Plans/Check	
004	12.11.2023	MM	Revised Plans/Check	

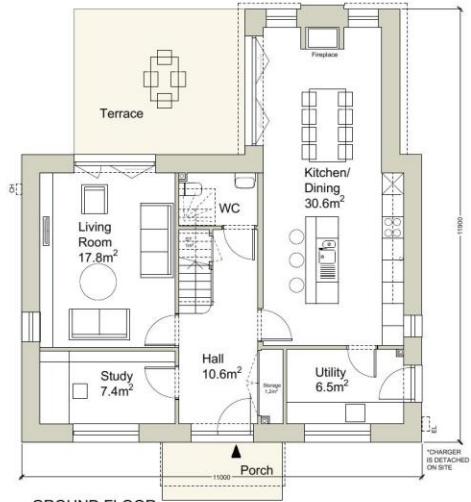
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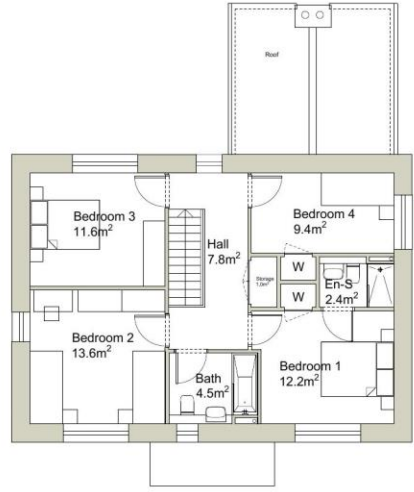
Feilden + Mawson CLIENT: Holkham
 125-126, Market Street, Norwich, Norfolk, NR1 1JF. Tel: 01603 483900
 2 Church Lane, West London, W8 4NF. Tel: 020 8834 0800
 Email: info@feildenmawson.com Website: www.feildenmawson.com

JOB: Create Road Burmah Market

DRAWING: PLOT 12 Elevations
 SCALE: 1:100
 DATE: 02/2023
 JOB NO: 9645
 DWS REV: 007
 P03



GROUND FLOOR
82sqm GIA



FIRST FLOOR
69sqm GIA

PLOT 3+12
4B / 6-7P DETACHED
Total 151sqm GIA



REV	DATE	CHK	AMENDMENTS	NOTES
REV 1	12.11.2023	MM	Initial Planning Stage	
REV 2	12.11.2023	MM	Minor alterations to landscaping	
REV 3	12.11.2023	MM	CF final amendments to drawings	

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**King's Lynn &
West Norfolk**

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Feilden + Mawson

CLIENT: **Holkham**
JOB: **Creake Road Burnham Market**

DRAWING: **PLANTING**
SCALE: 1:100
JOB: **9645** DATE: **02/02/23**

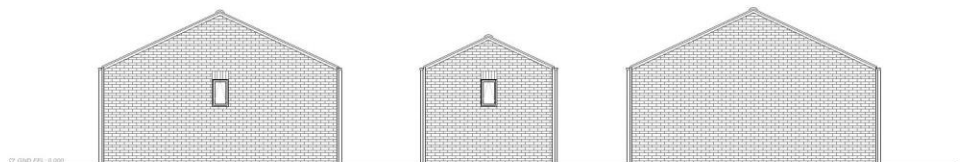
PLANTING
PLOT 12
Floor Plans

REV: **066** P02



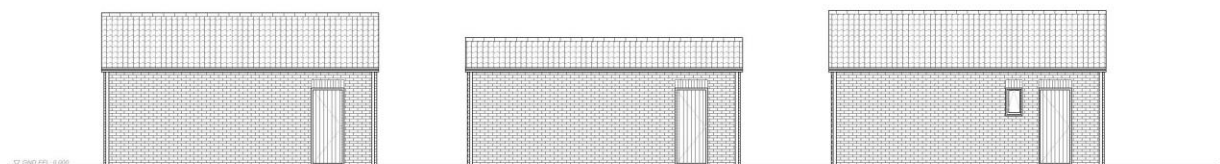
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FRONT ELEVATIONS



G3 G1 G2

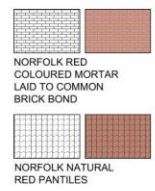
REAR ELEVATIONS



G3 G1 G2

SIDE ELEVATIONS

MATERIALS LEGEND:



REV	DATE	CHK	AMENDMENTS	NOTES
001	12.11.2023	MM	Final Plans/Drawings	
002	12.11.2023	MM	Revised Plans/Drawings	
003	12.11.2023	MM	Revised Plans/Drawings	

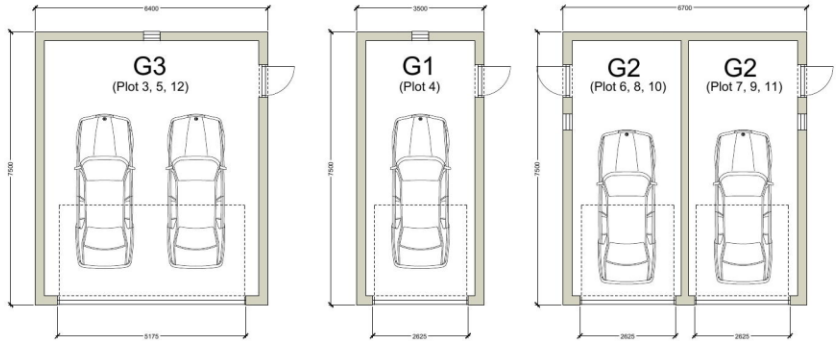
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 174-176 High Street, London, EC1A 3BB
 020 7626 0000
 www.feildেন.com

CLIENT: **Holkham**
 JOB: **Creake Road Burham Market**

ISSUING	SCALE	DATE
GARAGES Elevations	1:100	02/2023

JOB	9645	DATE	02/2023
REV	069	REV	P02



REV	DATE	CHK	AMENDMENTS	NOTES
PRJ	15.03.2023	MM	Initial Planning Issue	

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CLIENT: **Holkham**
 JOB: **Creake Road Burham Market**

DRAWING			
SCALE	1:100	PAGES	A3
DATE	02/2023	JOB	9645
REV	068	POD	

FLOOR PLANS



East boundary of site, view towards Village Hall



East boundary of site, view south along Creake Road



Neighbouring dwelling at Creake Road



West boundary of site, view towards Allotments/Village Hall



View along Beaconhill Road towards Kestrel Close



Houses opposite Beaconhill Road



View from Allotments towards the site



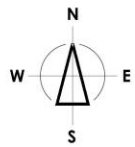
Bungalows at Kestrel Close



Bungalows at Kestrel Close

23/00735/FM





NOTES

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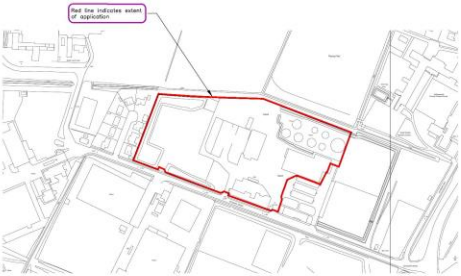
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THIS SYMBOL GIVES WARNING OF A SIGNIFICANT HAZARD OR INFORMATION THAT IS UNUSUAL

EXISTING SITE PLAN - 1:500



EXISTING LOCATION PLAN - 1:2500

BUILDING KEY	
	Existing Buildings / Plant

NO.	ISSUED FOR PLANNING APPROVAL	DATE	BY	SCALE	DATE
001	DESCRIPTION	APRIL	DRGK	DATE	DATE

SCALE
1:500, 1:2500 @ A1

CLIENT
OMEX AGRICULTURAL LTD

PROJECT
**PROPOSED FOLIAR FACILITY
ESTUARY ROAD
KING'S LYNN,
PE30 2HH**

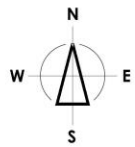
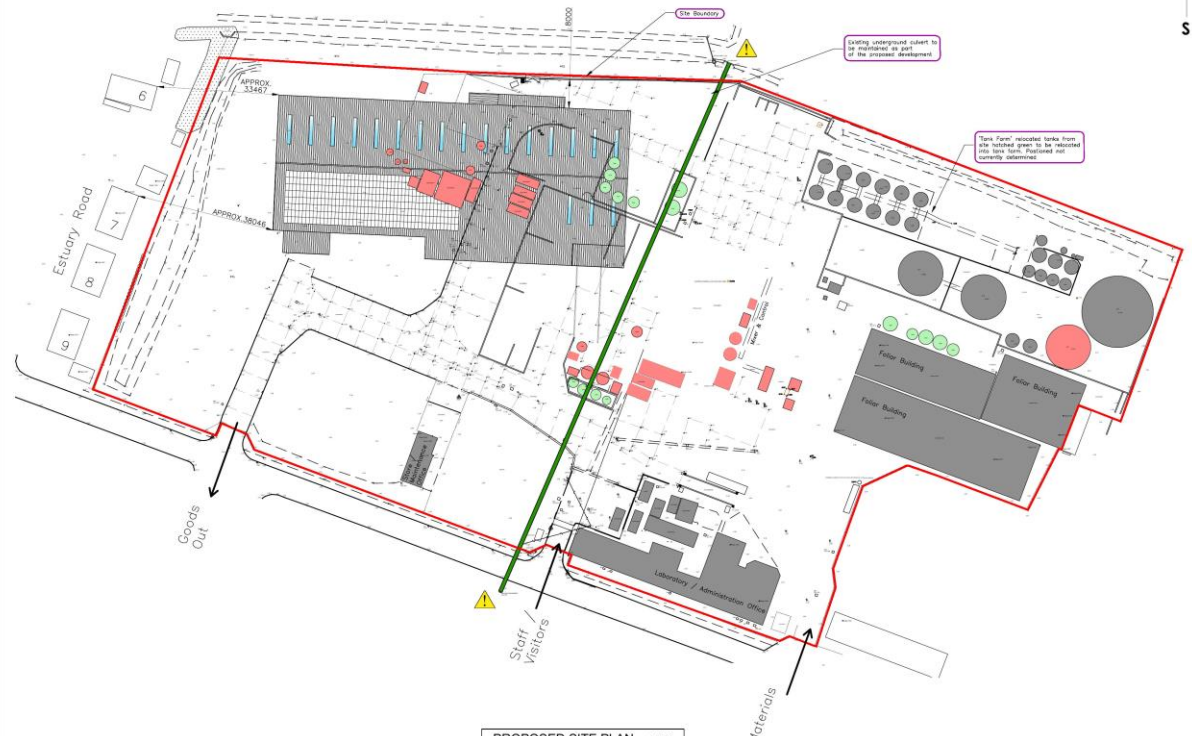
DRAWING TITLE
EXISTING SITE PLAN AND LOCATION PLAN

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<input type="checkbox"/> BUILDING REGS	<input type="checkbox"/> TENDER BIDD
<input type="checkbox"/> WORKING DRAWING	<input type="checkbox"/> ISSUED ON COMPLETION

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DRAWING NO.	REV.
220945 / 10 / 01	-



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REV	DESCRIPTION	DATE
C	ISSUED FOR PLANNING APPROVAL	04/01/2023

SCALE: 1:200 @ A1

CLIENT: OMEX AGRICULTURAL LTD

PROJECT: PROPOSED FOLIAR FACILITY
ESTUARY ROAD
KING'S LYNN,
PE30 2HH

DRAWING TITLE: PROPOSED SITE PLAN SHOWING BUILDINGS / PLANT TO BE REMOVED OR RELOCATED

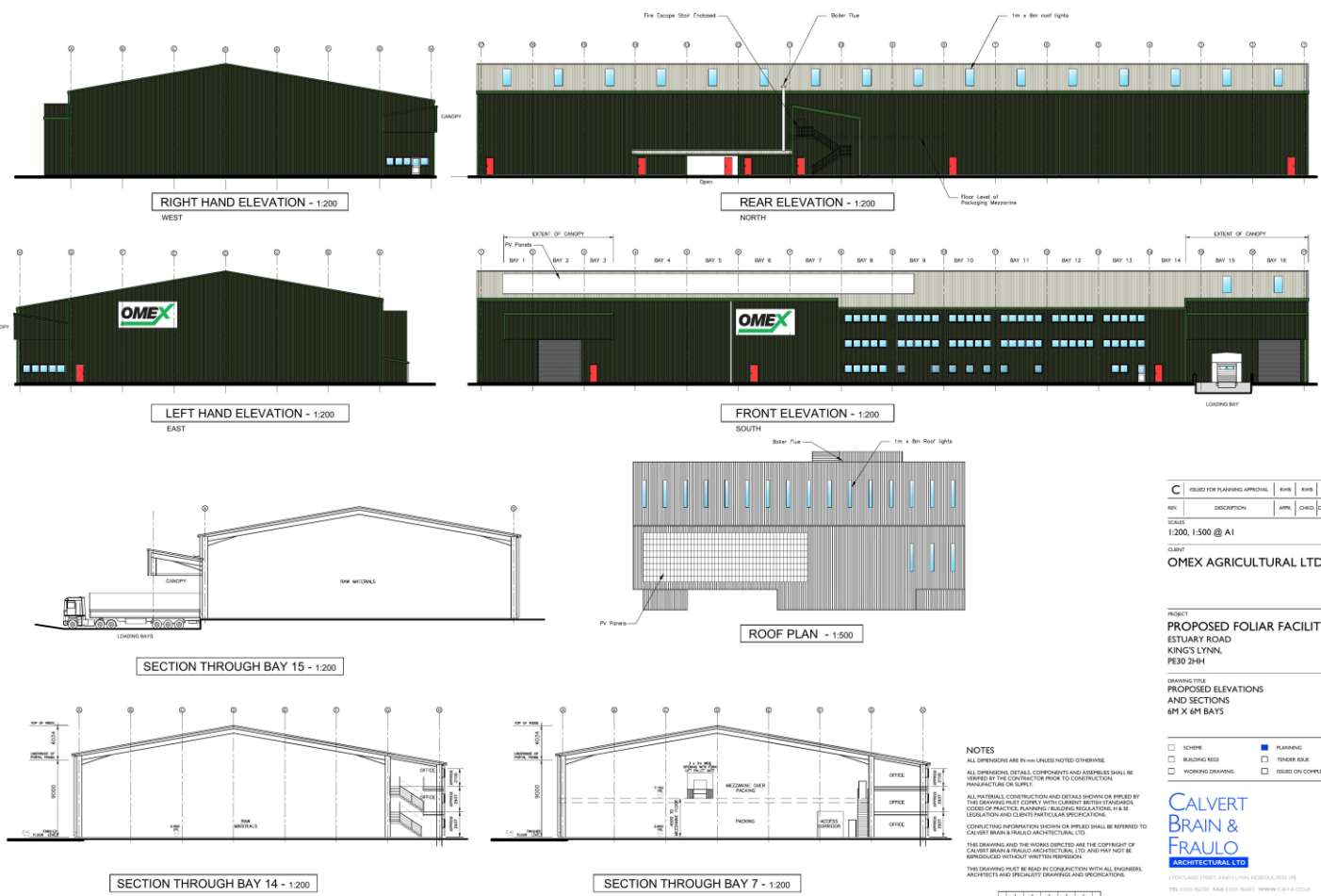
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**CALVERT
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DRAWING NO: 220945 / 10 / 02

REV: C



C	ISSUED FOR PLANNING APPROVAL	REV	DATE	SAC	38/2023
REV	DESCRIPTION	APPR	DATE	DRAWN	CHEF
SCALE					
1:200, 1:500 @ A1					
CLIENT					
OMEX AGRICULTURAL LTD					

PROJECT
PROPOSED FOLIAR FACILITY
 ESTUARY ROAD
 KING'S LYNN,
 PE30 2HH

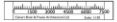
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**PROPOSED ELEVATIONS
 AND SECTIONS**
 6M X 6M BAYS

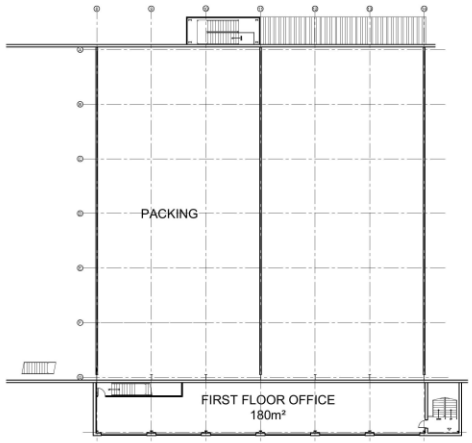
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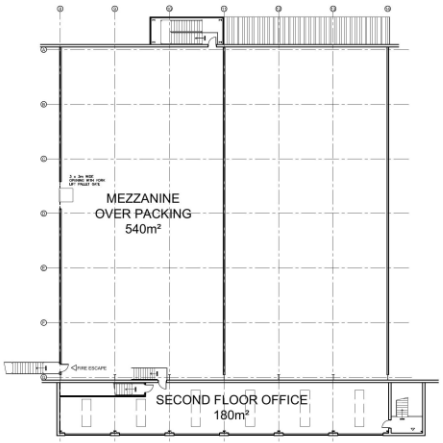
1 FORDHAM STREET, SANDHURST, BERKSHIRE RG8
 TEL 01357 76222 FAX 01357 76221 WWW.C-B-A.CO.UK

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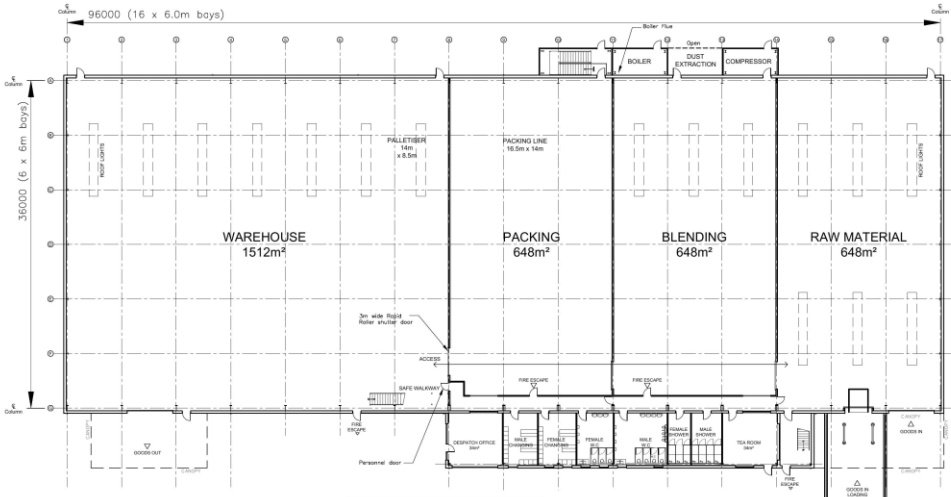




FIRST FLOOR PLAN - 1:200



SECOND FLOOR PLAN - 1:200



GROUND FLOOR PLAN - 1:200

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A	ISSUED FOR PLANNING	RHS	RHS	SAC	4/15/13
-	ISSUED FOR PLANNING APPROVAL	RHS	RHS	SAC	18/11/13
REV	DESCRIPTION	DATE	BY	CHKD	DATE

SCALE: 1:200, 1:500 @ A1

CLIENT: OMEX AGRICULTURAL LTD

PROJECT:
PROPOSED FOLIAR FACILITY
 ESTUARY ROAD
 KING'S LYNN,
 PE30 2JH

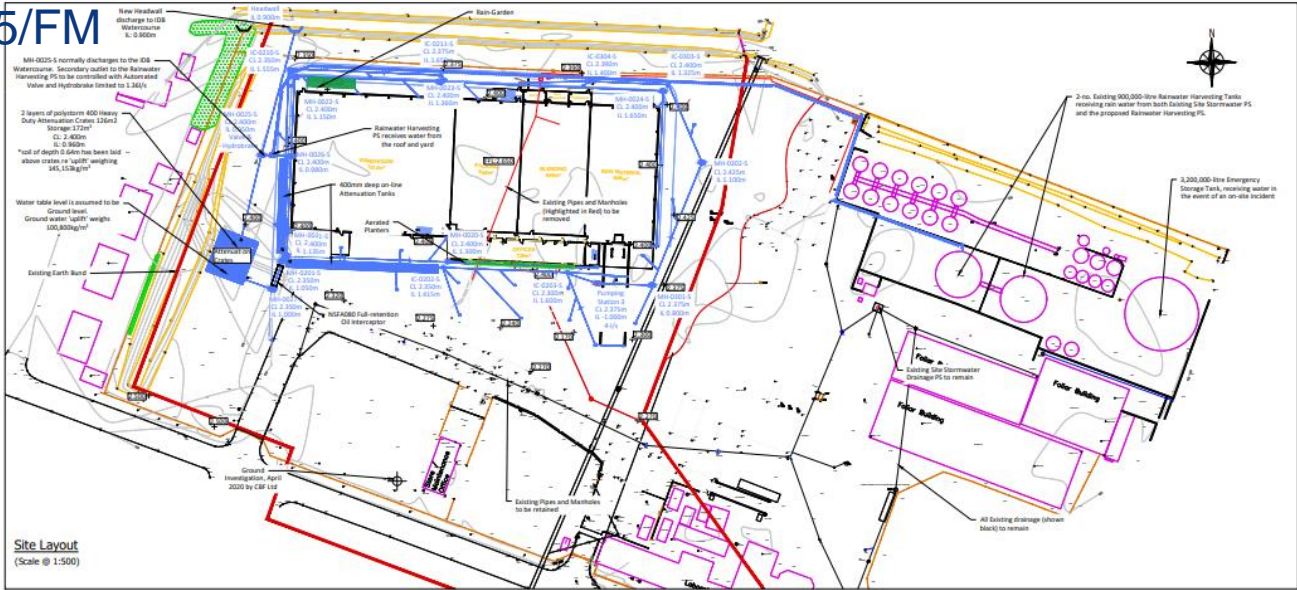
DRAWING TITLE: PROPOSED FLOOR PLANS

- SCHEME
- PLANNING
- BUILDING REGS
- TENDER BLUE
- WORKING DRAWING
- ISSUED ON COMPLETION

**CALVERT
 BRAIN &
 FRAULO**
 ARCHITECTURAL LTD

1 FORTLAND STREET, KING'S LYNN, NORFOLK PE30 1JH
 TEL: 01553 762222 FAX: 01553 762221 WWW: C-B-A.CO.UK

DRAWING NO: 220945 / 10 / 04



Site Layout (Scale @ 1:500)

Project Details

The site is part of the OMEK Site located on the Northern side of Estuary Road, King's Lynn. The postcode for the site is PE30 2RH and the approximate centre of the site at National Grid Reference TF 62796 21468. The site size is less than a hectare (0.87 ha) and is located within Flood Zone 3. The site is currently brownfield land and facilities which have been de-commissioned. The proposed development includes proposals for the construction of an industrial building with new yard and road as follows:

- Building (Roofs): 3840m²
- Roads and Yards: 4400m²
- Total Hardstanding area: 8240m² (Approx 95% of the Site)

Geological records indicate that the ground is a very silty Clay with occasional concrete rubble and some gravel. Infiltration not possible due to high ground water table as Ground Investigation Report on site for Proposed Commercial Building, Job No. 208250 dated April 2020, locations indicated.

Drainage and SuDS Strategy

As stated in CIRIA SuDS Manual 2015 the objective of sustainable drainage systems is to maximise the benefits and minimise the negative impacts of surface water runoff from developed areas. By applying SuDS methodology, storm runoff from the Site is controlled to ensure that flow rates in downstream watercourses are not increased and the water is appropriately treated to remove any contaminants, thus ensuring the quality of the water in the natural environment downstream.

Drainage Hierarchy

Drainage Hierarchy	Y/N	Comment
1 Infiltration to maximum extent	N	Not possible
2 Discharge to Surface Waters	Y	Discharging to the IDB watercourse
3 Discharge to Surface Water Sewer	N/A	Not Required
4 Discharge to Combined Sewer	N/A	Not Required

Drainage and Rainwater Harvesting

- Key project proposal: Storm drainage includes a rainwater harvesting system for use within the proposed production at the Site. All of the rainwater falling on the Site is proposed to be harvested for use on the Site and other Sites. However, to allow for plant shut-downs, the drainage system for the proposed development has been sized to accept all flows up to 1 in 100-year event +40% allowance for climate change.
- Existing Site drainage delivers stormwater to an existing Site Stormwater Drainage PS, which is to remain and is unaffected by the proposed development. This PS discharges into the existing Rainwater Harvesting Tanks.
- Stormwater from proposed yards and roads is to be collected, passed through an oil interceptor and attenuated within crates. Roof runoff is also harvested.
- The rainwater harvesting system will transfer 100% of the stormwater from the proposed development to the existing above ground Rainwater Harvesting Tanks. In the event of Plant shut-down or maintenance, a valve will automatically open to allow stormwater to discharge to the IDB Watercourse controlled to Greenfield Runoff Rates (1.36-1.6) by a Hydrobrake. Battery back-up to be provided.
- Pumping Station 3 (at Node P53) collects stormwater from proposed yard areas at east end of new building and the Delivery Bay.

Drainage Design

The drainage system has been modelled using FEH rainfall data for storms up to 10080-min duration and 1% AEP + 40% Climate Change. No account of the Rainwater Harvesting is made in the Hydraulic Model.

Storm drainage system performance:

- Attenuation Volume Provided: 148m³ (223m³ Crates, 170m³ Delivery Bay)
- Attenuation Volume used in 1 in 30 yrs storm event: 1.7m³ (51%)
- Attenuation Volume used in 1 in 100 yrs storm event: 196m³ (56%)
- Attenuation Volume used in 1 in 300 yrs storm event + 40% Climate Change: 277m³ (60%)

NB: No Roofing of the Delivery Bays will occur for storm events up to 1 in 30-yr event. The Delivery Bay will be used as storage for larger events, with depth of water modelled to be <300mm under 1% AEP + 40% event

Foul Water

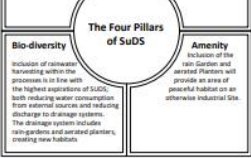
- Foul drainage from the new building will be connected to the existing foul drainage on site, which discharges to public sewer.

Water Quality

Runoff from the concrete footpaths and internal areas will be treated through an Oil Interceptor. Discharge to the IDB Watercourse would only occur if the Site is non-operational. Hence measures will be put in place to ensure the Site is non-operational. Hence measures will be put in place to ensure the Site is non-operational.

Water Quantity

Once in full production, rainwater harvesting is regarded as either all of the runoff from the entire Site or from when the Site is non-operational. Runoff from the development are controlled to meet the rate of infiltration, using a hydrobrake.



Simple Pollution Index:

Area	Pollution Index			Proposed Treatment	Pollution Mitigation Index			Residual Index		
	TSS	Metals	Hydro-Carbons		TSS	Metals	Hydro-Carbons	TSS	Metals	Hydro-Carbons
Commercial yard and delivery areas:	0.8	0.8	0.9	Oil Interceptor	0.8	1.0	1.0	0.0	0.0	0.0

Notes:

1. Do not scale this drawing other than by passing calculator program.
 2. All dimensions are in millimetres unless stated otherwise.
 3. This drawing to be read in conjunction with all other relevant drawings and specifications.
 4. All proprietary items to be related in strict compliance with manufacturers' instructions and recommendations.
- STANDARD DRAINAGE NOTES**
1. Excavate where specifically shown otherwise all below ground pipes connections shall be 150mm dia PVC to BS 4602 or VC to BS 5487 with flexible joints with seal to minimum falls of 1 in 40, except where connected to a VC where falls may be 1 in 30.
 2. All ground pipe runs to be bedded to a standing head of the pipe not less than exceeding 450mm at the lower end.
 3. For details of bed and surround requirements refer to long sections and standard details. In all other situations provide 150mm of 3mm single-sized crushed gravel bedded and compacted.
 4. Excavate where specifically shown otherwise, pipes to be a minimum of 600mm below finished ground and 600mm below gas service lines.
 5. Venting pipes to be provided at the head of each drain and to any drain longer than 6m where a single appliance is connected, or 12m where a group of appliances is connected.
 6. Stop-vents shall not be fitted in any chambers unless specified otherwise.
 7. Manhole/Gully covers shall be regulated to suit finished levels and road/cracks.
 8. All proprietary items to be installed in strict compliance with manufacturers' instructions and recommendations.
 9. Drains passing beneath buildings to have minimum 150mm granular fill on each side of the drain. Where the drain is open is within 300mm of the underside of the slab, granular fill shall be provided in accordance with the slab.
 10. Drains passing through walls below ground level to have minimum 150mm granular fill on each side of the drain. All drains shall be lined with rigid sheet material to prevent ingress of air or vermin. Concrete pipe needs for pipes shall have concrete breaks to support level construction above 11. Drain pipe otherwise, shall be 150mm diameter.

STANDARD FINISHES / FOOTPATH NOTES:

1. Subgrade to be proof-rolled with one pass of a smooth-whiskered roller to ensure a maximum depth of soil of not less than 210kg or a Vibrating Foot Tamping mass per 1000mm² of not less than 750kg or a Vibrating Plate Compactor having a mass per 102 of not less than 145kg. Any soft spots shall be removed and replaced with Type 1 compacted in layers not exceeding 150mm thickness.
2. All formations are to be treated with approved herbicide before placing sub-base material on a gas-tight separation membrane (Tensar 1000 or similar approved).
3. All sub-base material is to be non-fall susceptible. All concrete to be sulphate resistant.

Reference	Description	Revised	By	Date
001	Initial Issue	Not	TP	18.05.2023
002	Revised	Yes	TP	18.05.2023
003	Revised	Yes	TP	18.05.2023
004	Revised	Yes	TP	18.05.2023

Key

- Surface Water Polypropylene Propylene Chamber
- Private Storm Water Manhole
- Surface Water Pipeline
- Road Gully
- Roofing Eye
- Existing Pipes and Manholes to be removed
- Proposed Levels
- Attenuation Crates
- 1% Access Cover
- Ground Investigation April 2020, by CR Ltd

OMEX Agriculture Ltd

OMEX Foliar Facility

Drainage Strategy

Site No:	22233	Rev:	
Drawing No:	22233-001	Rev:	P9
Title:	Preliminary	Date:	14-03-23
Issue:	As Stated	Checked By:	TP
Project:	TP	Drawn By:	K.P.
		Checked By:	TP
		Approved By:	



4 Angel Road, Gosport, Hampshire, PO1 2SE
01703 762424









View east internally towards existing buildings and containers





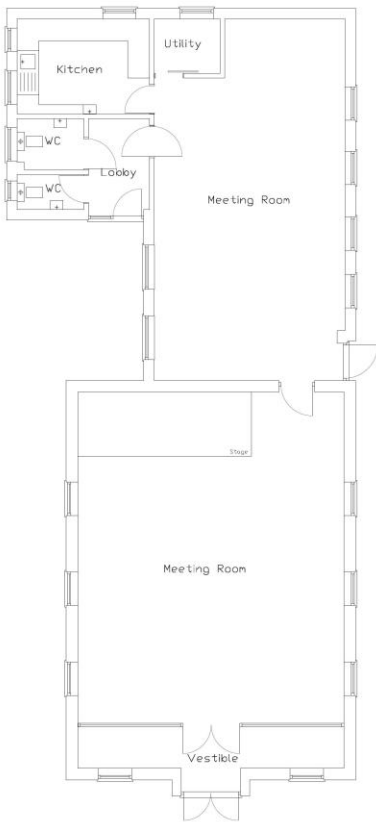




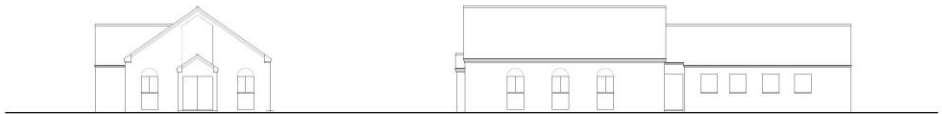


23/00805/F





GROUND FLOOR PLAN 1:50.



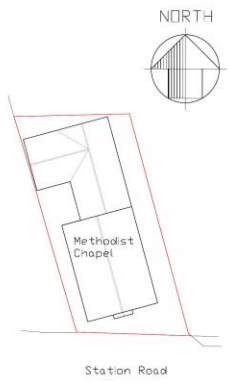
SOUTH ELEVATION 1:100.

EAST ELEVATION 1:100.

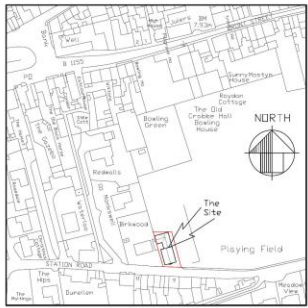


NORTH ELEVATION 1:100.

WEST ELEVATION 1:100.



SITE PLAN 1:200.



LOCATION MAP 1:1250.

0m 1m 2m 3m 4m 5m

FOR CONSTRUCTION PURPOSES Drawings to be read in strict accordance with the application. Measurements and levels to be checked on site by the contractor prior to commencement of works. Any discrepancies to be referred to the designer.

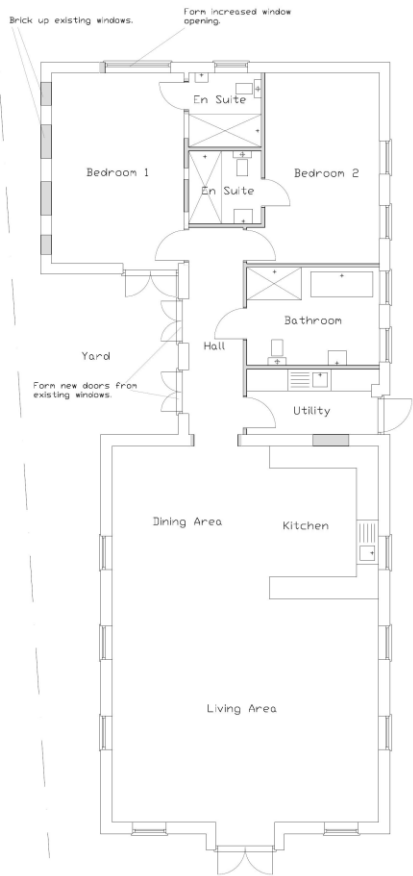
Matt Sturgeon Ltd.
BUILDING CONSULTANCY

MONKEY FIELDS | BURNHAM LANE | NORTH WOOTTON
NORWICH | NORFOLK | IP20 2JH | 01603 670901

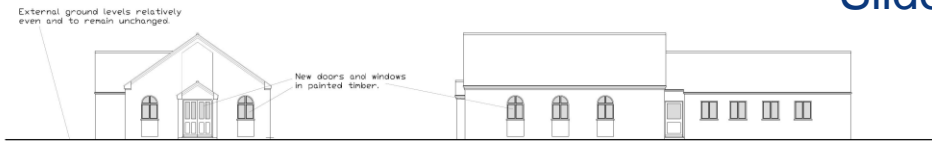
PROPOSED CONVERSION
METHODIST CHAPEL
STATION ROAD
BURNHAM MARKET.

EXISTING
PLANS AND ELEVATIONS.

APRIL 2023 | 1G08-01



GROUND FLOOR PLAN 1:50.



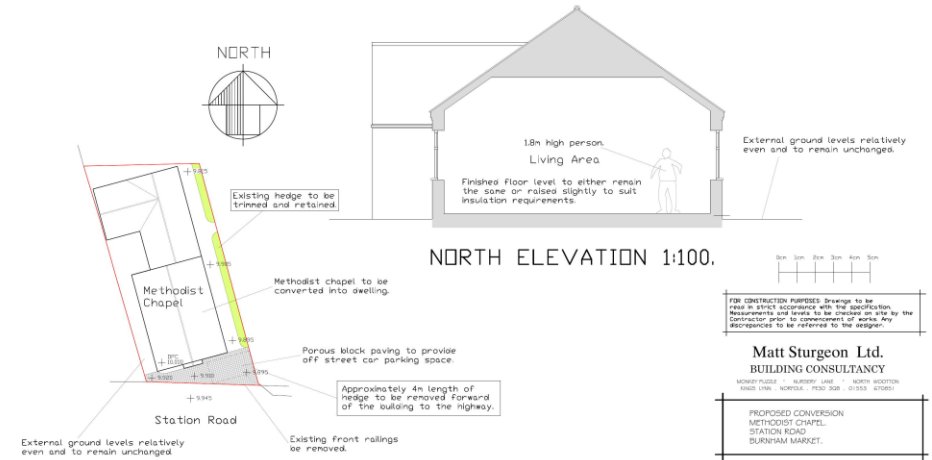
SOUTH ELEVATION 1:100.

EAST ELEVATION 1:100.

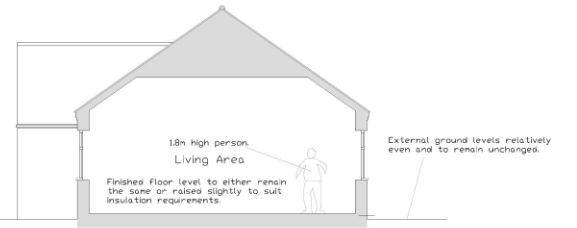


NORTH ELEVATION 1:100.

WEST ELEVATION 1:100.



SITE PLAN 1:200.



NORTH ELEVATION 1:100.

FOR CONSTRUCTION PURPOSES DRAWINGS TO BE READ IN STRICT ACCORDANCE WITH THE APPLICATION. MEASUREMENTS AND LEVELS TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS. ANY DISCREPANCIES TO BE REFERRED TO THE ARCHITECT.

Matt Sturgeon Ltd.
BUILDING CONSULTANCY
MONEY FIELDS - 18, ROSEY LANE - NORTH WOOTTON
NORFOLK - NORFOLK - IP20 2BB - 01323 470591

PROPOSED CONVERSION METHODIST CHAPEL STATION ROAD BURNHAM MARKET.	
PROPOSED: PLANS AND ELEVATIONS.	
APRIL 2023	IG08-02.c

a. 08A23 Issued and prepared for Planning Application.
b. 15E23 Hedge annotation added.
c. 08E23 4m length annotation to hedge removed.





Station Road street scene, looking east









Eastern boundary and rear elevation looking south.



Western boundary and elevation.

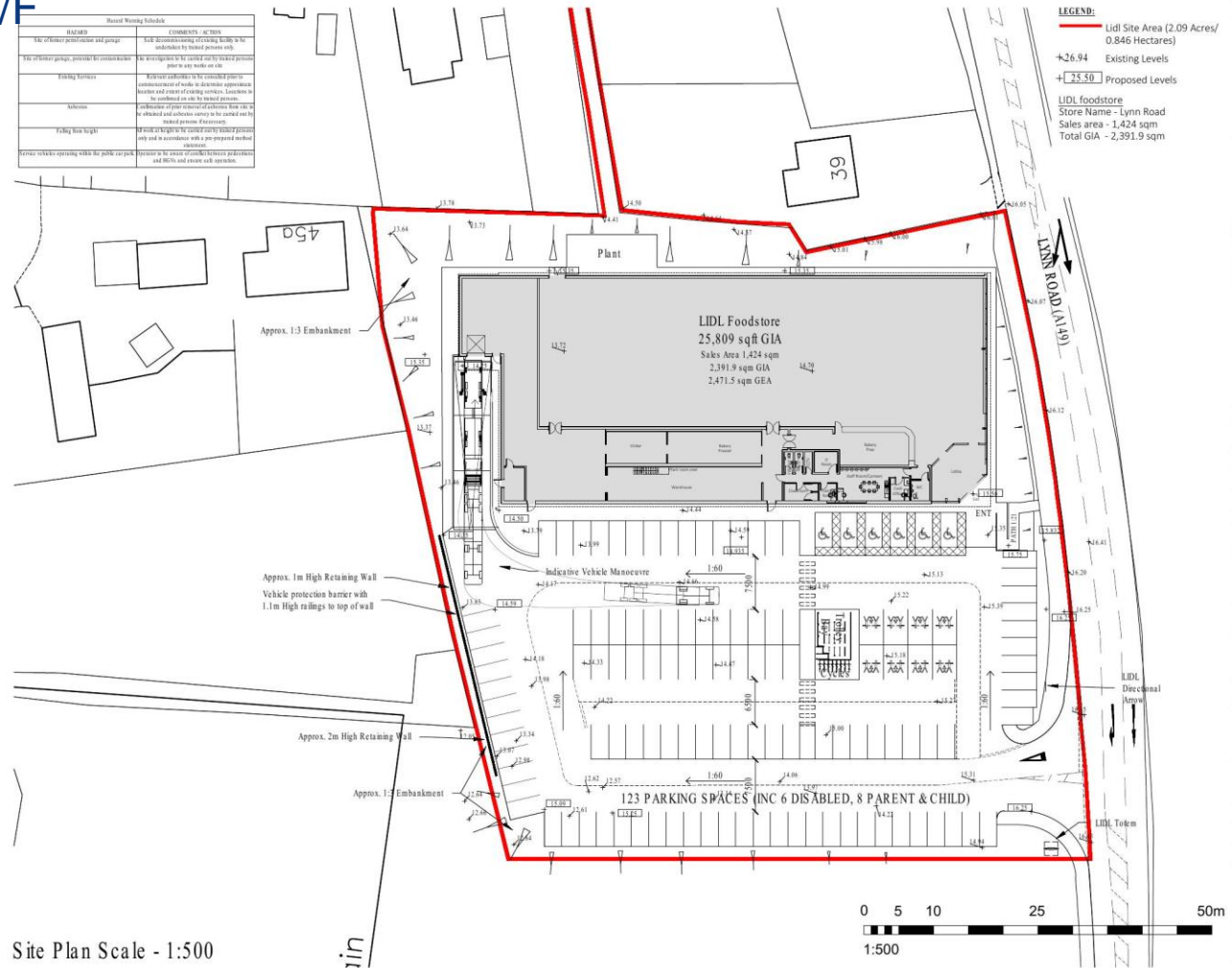




23/00760/F



Clause	Comments
1.1.1	...
1.1.2	...
1.1.3	...
1.1.4	...
1.1.5	...
1.1.6	...
1.1.7	...
1.1.8	...
1.1.9	...
1.1.10	...



LEGEND:
 Lidl Site Area (2.09 Acres / 0.846 Hectares)
 +26.94 Existing Levels
 +25.50 Proposed Levels

LIDL foodstore
 Store Name - Lynn Road
 Sales area - 1,424 sqm
 Total GIA - 2,391.9 sqm

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 IF PRODUCT ASK
 Materials not in conformity with relevant British or European Standards/Codes of practice or materials known to be detrimental to health & safety must not be used or specified on this project.



NOTES:
 The sketch proposals shown have been produced using Ordnance Survey data as a base and will be subject to further specialist design from Structural, Highways and Mechanical Engineers. These proposals will also be subject to a detailed cut and fill exercise, stats, TPOs, etc.

W	13.96.17	Approx. fence erected, and to meet perimeter enclosure to site	DU	DC
L	16.96.17	Form layer erected	DU <td>DC</td>	DC
E	25.00.17	Area layer erected	DU <td>DC</td>	DC
J	18.00.17	Site and ground layer applied	DU <td>DC</td>	DC
H	28.04.17	Area layer applied to be site	DU <td>DC</td>	DC

Lidl UK GmbH
 CLIENT

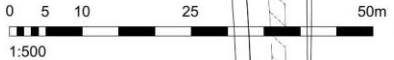
PROJECT
 Heacham, Lynn Road

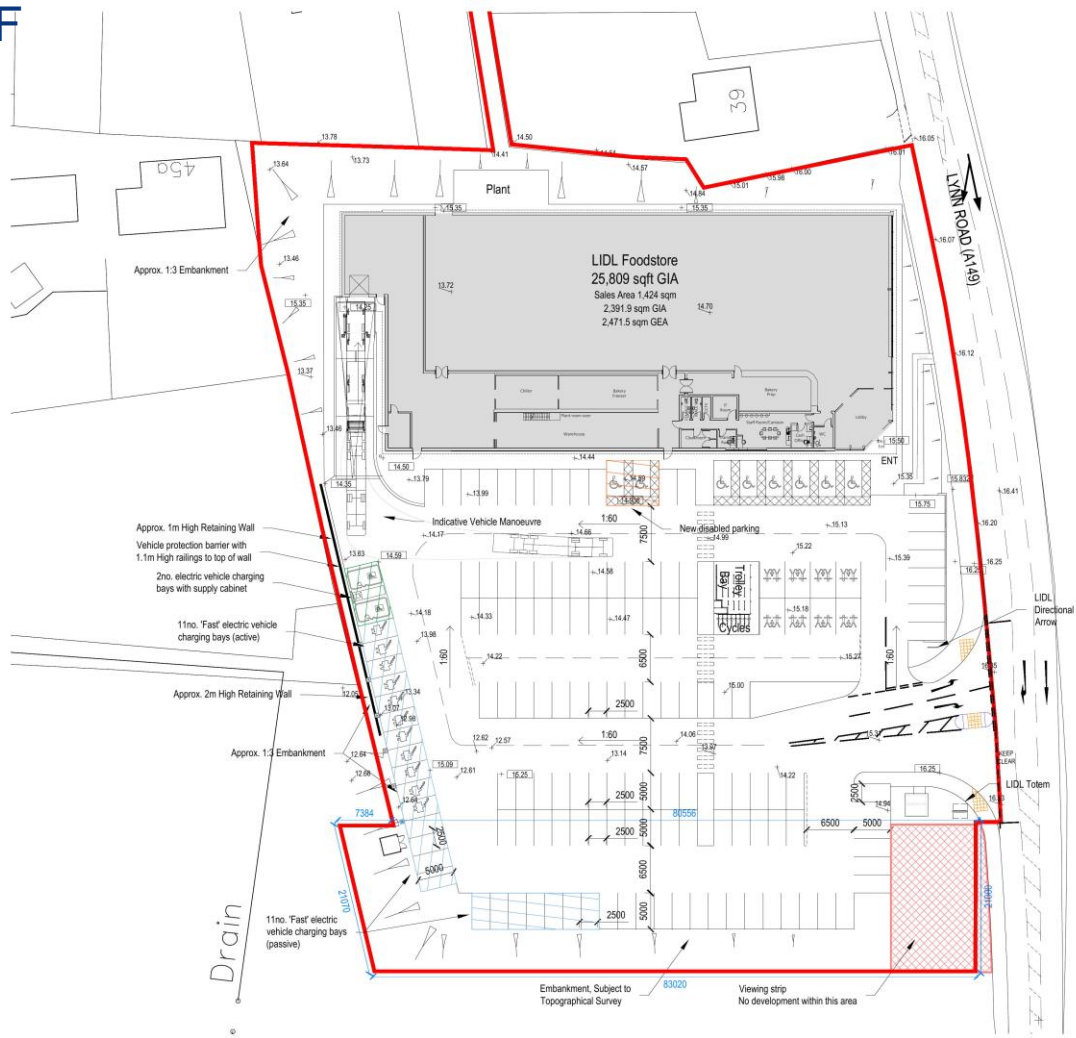
TITLE
 Proposed Site Plan

DRAWING STATUS
Planning
 DRAWN: DG CHECKED: DC
 SCALE: 1:500 @ A3
 DATE: 10/05/17

Whittam Cox ARCHITECTS
 Chesterfield / 01246 296264
 London / 020 388 0029
 Leeds / 0113 388034
 whittamcox.com

JOB NO: 15-333 DRAWING NO: PL-03 REV: M





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Whittam Cox Architects Ltd, 10th Floor, 100, Broad Street, Birmingham, B1 2HT. Tel: 0121 222 4444. Fax: 0121 222 4445. www.whittamcox.com



Key

Site Boundary

Existing Car Park

Disabled spaces	6 (4.0%)
Parent & Child spaces	8
Standard spaces	109
Total	123

Proposed Car Park

Disabled spaces	8 (5.3%)
Parent & Child spaces	8
Standard spaces	136
Total	152

2no. 'Rapid' electric vehicle charging bays (active)

11no. 'Fast' electric vehicle charging bays (active)

11no. 'Fast' electric vehicle charging bays (passive)

3no. EV disabled bays

NO	REVISION	DATE
1	Issued for Planning	22/11/20
2	Issued for Planning	22/11/20
3	Issued for Planning	22/11/20
4	Issued for Planning	22/11/20
5	Issued for Planning	22/11/20
6	Issued for Planning	22/11/20
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50	Issued for Planning	22/11/20

Author: [Name]

Checker: [Name]

Client: LIDL Great Britain Limited

PROJECT
Heacham, Lynn Road
Car Parking Extension

Proposed Site Plan

DRAWING STATUS
SKETCH

DRAWN	MD	DRAWN	SW
SCALE	1:250 @ A1		
DATE	January 2021		

Whittam Cox Architects
10th Floor, 100, Broad Street, Birmingham, B1 2HT
Tel: 0121 222 4444. Fax: 0121 222 4445. www.whittamcox.com

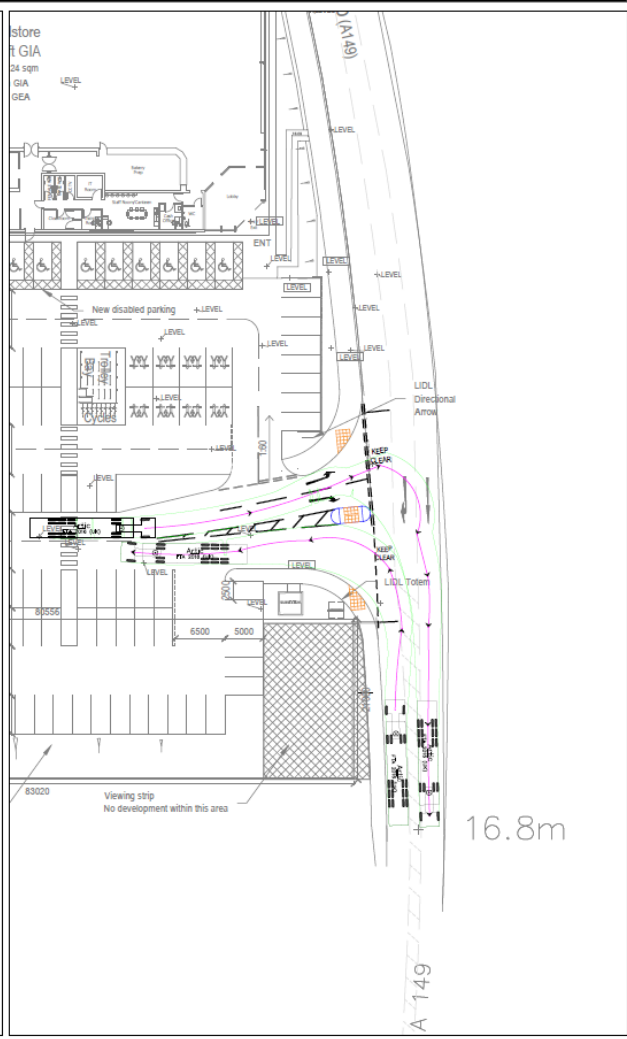
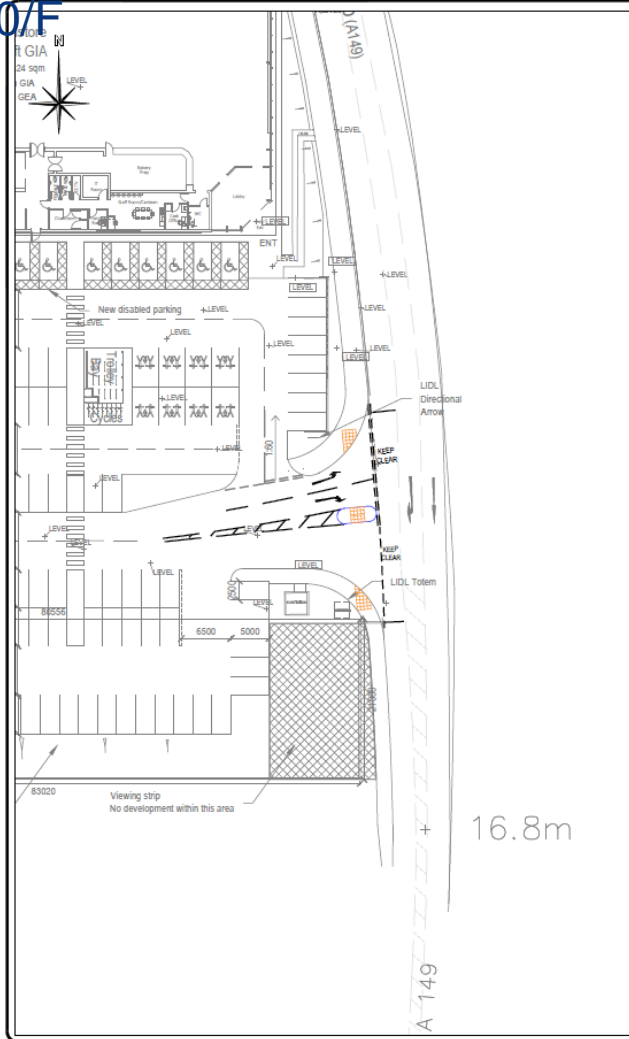
23/00760	DRAWING NO.	REV
210030	SK-01	L

16.8m

23/00760/F

Slide No: 70





Notes:
 1. All dimensions are to be checked on site before the start of any works. Any discrepancies are to be reported to the Architectural Services team for verification. Figure dimensions only are to be taken from this drawing.
 2. This drawing is to be read in conjunction with all relevant Engineers' and Services Engineers' drawings and specifications. This drawing is copyright.

Rev	Date	Description	TC	MC	Ckd	By
A	18/10/23	Amendment to existing highway	TC	MC		

Cora^{Hi}
 Atkinson House, Tower Business Park, Wilton Road, Manchester, M20 2PL
 Tel: 0161 956 4622, Email: manchester@corahi.com, Web: www.corahi.com

Client: **Lidl Great Britain Ltd.**

Project: **Lynn Road Heacham**

Title: **Access Arrangement**

Drawing Status: **16-1149**

Drawn	Checked	Scale at A3	Date	Issue Date
LB	TC	1:500	22/08/23	-

Drawing No: **101** **A**



Facing north



Facing north





Facing west



Facing south



Facing southwest





Facing northeast from existing access









Facing east over existing southern boundary



Facing south over existing southern boundary



Facing west over existing southern boundary



Site and existing southern boundary







View from rear of car park facing southeast











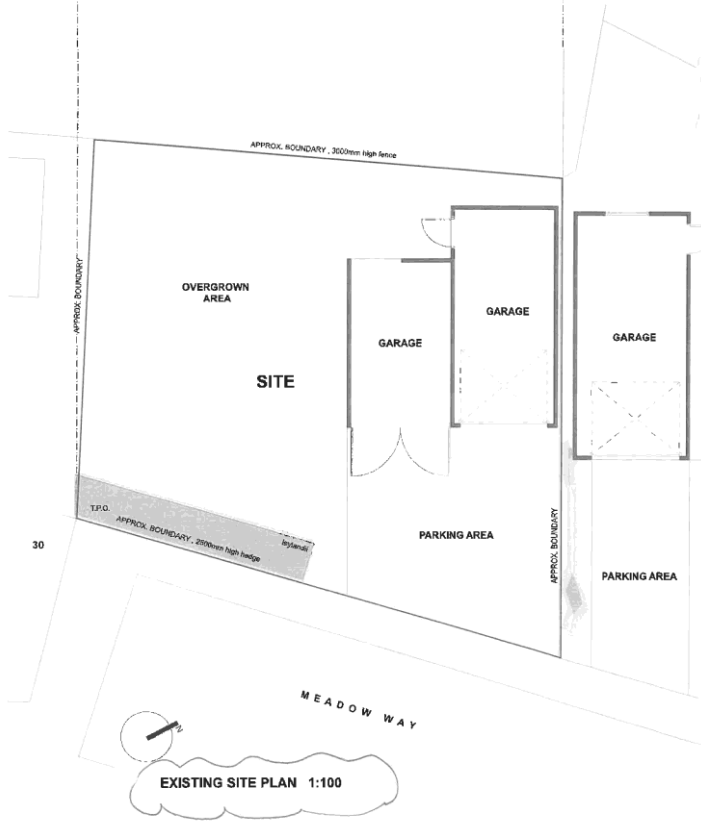
View from rear of car park facing east

23/00586/F





EXISTING STREET VIEW : SOUTH EAST 1:100



Revision:
Project: Proposed demolition of two garages and replacing with the erection of a private detached dwelling and associated works on land adjacent No 28 Meadow Way, Kings Lynn, Norfolk.
Description: Elevation, site and location plans
Client:
Date: January 2023
Scale: 1:50, 1:100 @ A1
The Clarke Smith Partnership Architectural & Planning consultants Unit 1, Chuck a Bush Farm Rogston Road, Whitwellford Cambridgeshire, CB22 4NW Tel - 01223 - 830989
Drawing: P-0078-01 Rev K B



REV A MAY 2023 - TO SAT ENVIRONMENTAL AGENCY REQUIREMENTS. REVISION OF DRAWING SUBMITTED TO SHOW ANY IMPACT ON NEIGHBOURHOODS PRESENT.

REV B - 01 OF 2023 - TO SAT NEAREST NEIGHBOURS COMMENTS



PROPOSED STREET SCENE.



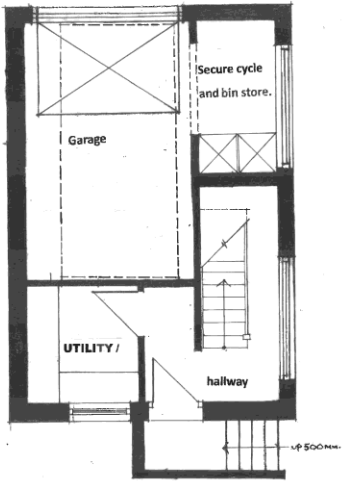
Project.
 Proposed demolition of two garages and replacing with
 The erection of a private detached dwelling and
 Associated works on land adjacent
 No 28 Meadow Way, Kings Lynn, Norfolk

Description.
 Proposed floor plans

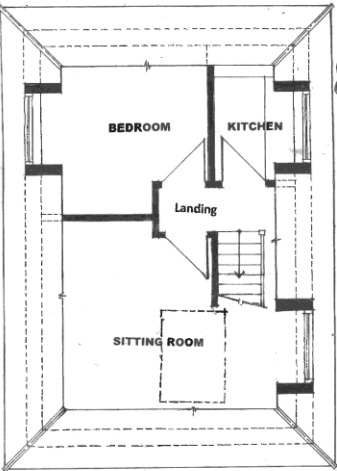
Date. January 2023
Scale. 1:50 @ A3

The Clarke Smith Partnership
 Architectural & Planning consultants

Unit 1, Chuck a Bush Farm
 Royston Road, Whittlesford
 Cambridgeshire, CB22 4NW
 Tel - 01223 - 830889



PROPOSED GROUND FLOOR PLAN.



PROPOSED FIRST FLOOR PLAN.

DRAWING No P-4078-02 REV A/B
 REV A MAY 23
 TO SUIT EA3 RECOMMENDATIONS
 REV B OCT 2023
 TO SUIT TREES OFFICERS CONCERNS.







Facing south



















Opposite side of Meadow Way (east)



22/00641/F



Issue Date		
Planning Application		
This drawing is copyright. Only signed drawings to be issued to:		
Issue	Drawn	Site
A	JDA	MDR
B	JDA	MDR



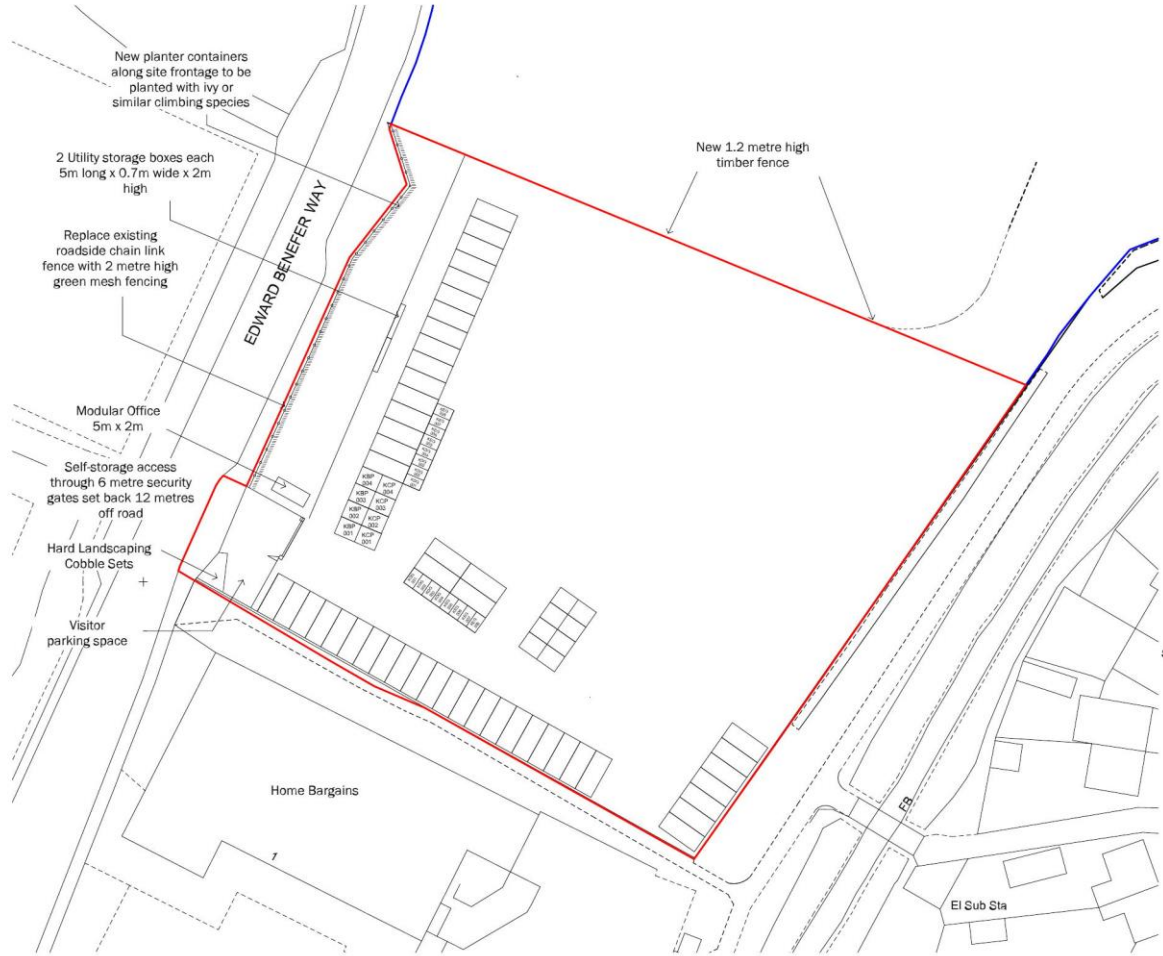
client 1st Self Storage Limited		
project Site at: Edward Benefer Way Kings Lynn		
drawing Site Location Plan		
date March 22	scale 1:2500	sheet @ A4
drawn JDA	checked MDR	



issued: 03/03/2021 DWG: 01/02/05/03/3
 17/03/21 04/03/21/01/1 01/03/21
 Brown & Co Registered Office: Gains Hall, Fines Grove, Grantham, Leicestershire, NG5 9JZ.
 Registered in: N2302090. Registered in England & Wales.

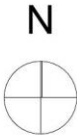
20	031956	001	B
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Planning Application			
This drawing is copyright. Only signed drawings to be worked on.			
Revision	Date	Drawn	Issue
A	Amendment to red line and details	JDA/MDR	Aug 23
B	Revision to visitor parking space	JDA/MDR	Mar 23
C	Client Revision	JDA/MDR	May 23

- 48 Full size containers
- 16 Half size containers
- 16 Quarter size containers
- 2 Utility boxes



SCALE 1:500
0 5 10 15 20 25m

Client 1st Self Storage Limited		
Project Site at: Edward Benefer Way Kings Lynn		
Drawing Proposed Site Layout		
March 22	1:500	A3
JDA	MDR	
ARCHITECTURE + PLANNING www.brown-co.com		
Name: 01485 528211 20 Home, 01485 528212 Street & Co Registered Office: Stone Hill, Fiske Street, Swanton, Lincolnshire, NG31 6QZ. Registration no: 00000000 - Registered in England & Wales.	Reg No: 01485 044833 Swanton 01485 577000	
20	031956	104 C





Structure to be removed









23/00540/F



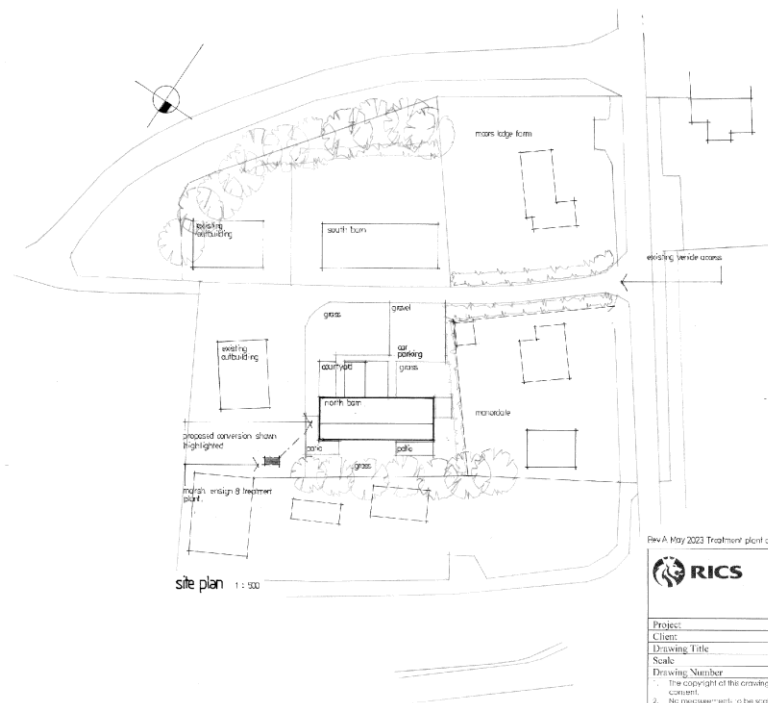


SITE LOCATION PLAN
AREA 5 HA
SCALE 1:1250 on A4
CENTRE COORDINATES: 551913, 305561



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Rev A May 2023 Treatment plan added



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Project Proposed Barn Conversion Moor Lodge Farm (North) Carwell

Client Miss F Johnson & Mr A Cummins

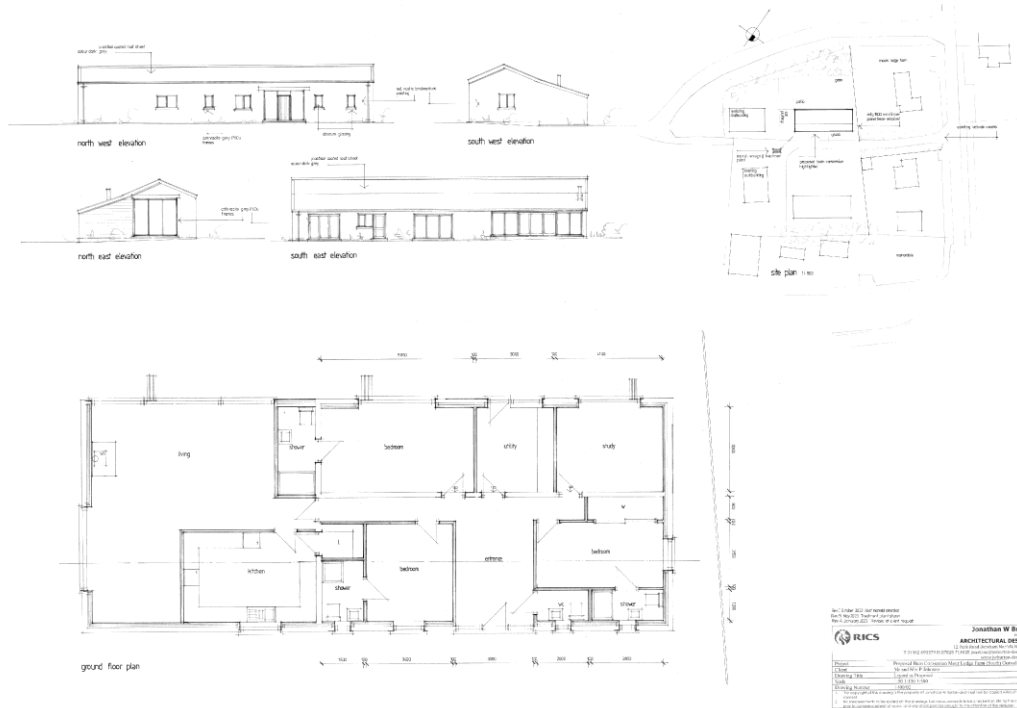
Drawing Title Site Plan

Scale 1:500

Drawing Number 401/03

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 2. No measurements to be scaled off this drawing, but measurements to be checked on site by the contractor prior to commencement of works and any discrepancies brought to the attention of the designer.







Marsh Road street scene looking south east



Marsh Road street scene looking north west



Access track to site with neighbouring properties either side.



North barn viewed from site entrance



South barn viewed from site entrance



Mobile home situated at centre of the site



Mobile home situated at centre of the site



Two of the four caravans situated in north corner of site.



Other touring caravan on site



North barn viewed from east corner of site



North barn viewed from north corner of site



North barn viewed from west corner of site



South barn from east corner of site



South barn from south of the site



South barn with neighbouring dwelling in background

23/01632/CU





179 The Drove, Barroway Drove, Downham Market, PE38 0AL



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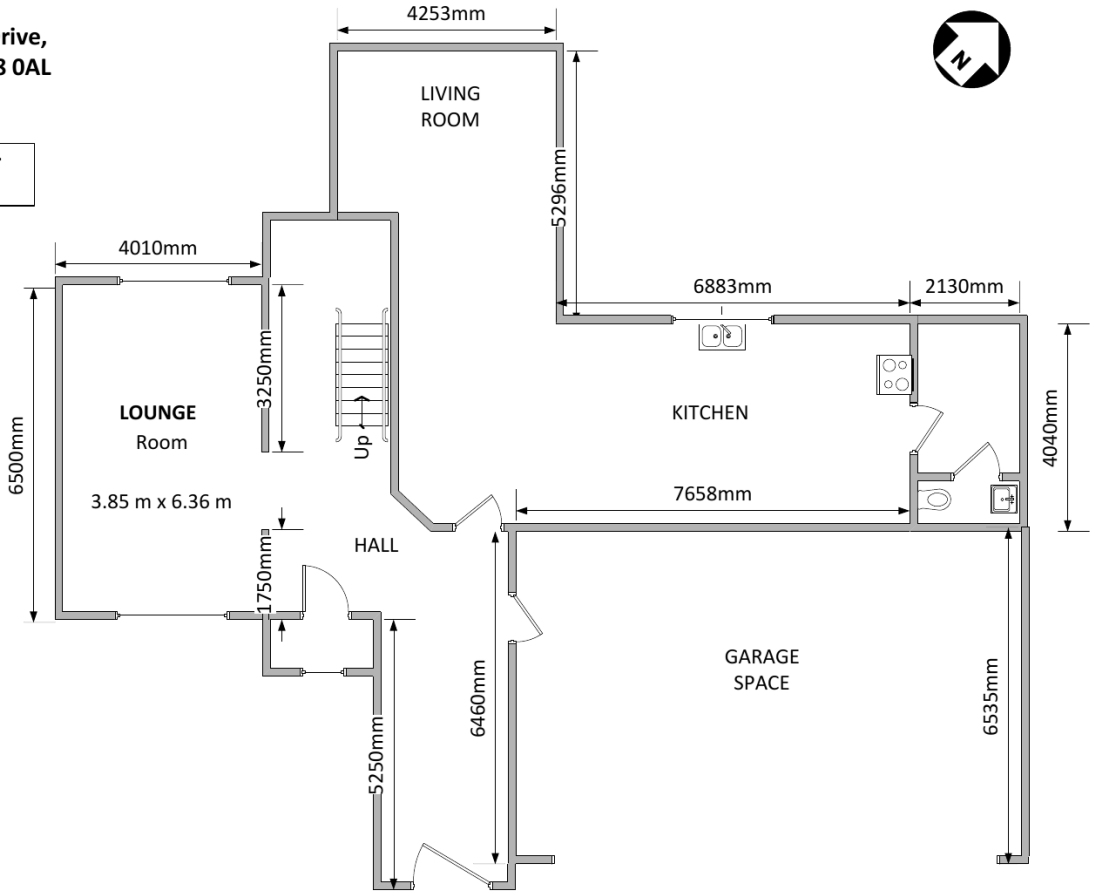


GROUND FLOOR DIAGRAM

The Drove, Barroway Drive,
Downham Market PE38 0AL

Scale 1:100

Existing and Proposed floor plans



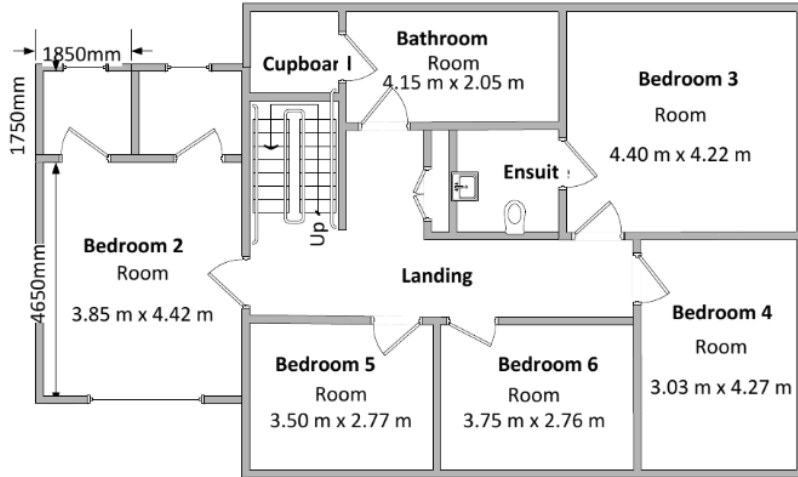


FIRST FLOOR DIAGRAM

The Drove, Barroway Drive,
Downham Market PE38 0AL

Scale 1:100

Existing and Proposed floor plans

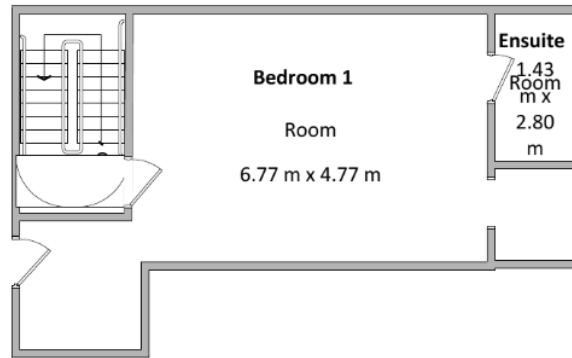


SECOND FLOOR DIAGRAM

The Drove, Barroway Drive,
Downham Market PE38 0AL

Scale 1:100

Existing and Proposed floor
plans







Towards the rear/north of the site. No 177 to the right.



Looking northeast to No 177 The Drove









Speakers Slides - Applicant





**About our short
stay recovery
houses**



What is a Short Stay Recovery House (SSRH)?

Our short stay recovery houses aim to provide a safe, supportive, space for people to manage a challenging time in their lives that has caused a decline in their mental health.

We offer a 5 night stay to support individuals with mental health in the hope to direct each person to the right support so they can move forward with their recovery journey.



Why do we want to run the SSRH in a rural location rather than a town?

The rural location and house that we have chosen provides a calm, relaxing setting to help with people's recovery.

Within the house, we will create a warm, friendly environment for people who are experiencing a challenging time in their life.



Will the SSRH bring a risk of increased crime and antisocial behaviour in the neighbourhood?

Prior to people arriving at our SSRH, they are thoroughly risk assessed.

We have three years' experience of running a Short Stay Recovery House near Norwich and we have robust processes in place. To date, we have had zero incidents of crime or antisocial behaviour.

We have a clear code of conduct which anyone who stays at the house must agree to prior to a referral being accepted.



Will the SSRH increase road traffic usage with carers' shift patterns and people moving in and out of the property?

We can only do our utmost to reassure you that we will be considerate about car movements, parking and noise.

No one will come to stay or leave late into the evening. Most people who come to stay will arrive during normal office hours.

Our staff will be mindful and considerate of the neighbours and the local community.



There are no local facilities or amenities, and nothing to encourage clients to become independent

The people who will be benefiting from our service are local to the area, are already fully independent and will be returning to their own homes within the Downham Market area after their short stay.

They will be provided for within the Short Stay Recovery House and will not be reliant on local facilities or public transport.

We have already been invited to groups and activities taking place at the local village hall.



Are there safety issues given that the house is next to an industrial site?

We have over 20 year's experience of operating short stay and residential housing for people requiring mental health support. We risk assessed the local area and property and have identified and mitigated any risks.

People staying with us will agree to the code of conduct and will not trespass on any areas that are private property.

We would like to reiterate that people who use the service will be responsible adults with their own homes, families and employment.



There are local issues with drainage – are you confident that the drains will be able to cope with the number of occupants?

Our Estates and Maintenance team has completed a survey of the premises and determined that it is fit for our intended purpose.

We have received draining and building plans, which detail that the property's drainage system will be sufficient.



The property overlooks neighbouring properties and may intrude on the neighbours' privacy

We are happy to erect a fence or screen along the wall to stop anyone in the SSRH seeing directly into the neighbouring properties.

As a service we want to work alongside our community and we are happy to discuss with the neighbours to agree on fencing or screens to obscure the view into their gardens or property.



Will SSRH residents be affected by the lack of public transport in the village?

No, we do not foresee that this will be an issue. We have considered transport while viewing suitable properties.

From our experience of operating a Short Stay Recovery House in Norwich, the people who stay with us want to engage with the staff team available within the home environment.



Our road surfaces are already poor – how will they cope with an increase in traffic?

We are aware that there are issues with road surface quality across the Fenland area. As a service we will not significantly increase the traffic, any more than if there were a family of six living at the premises.



The Difference

↓ Reduction in GP appointments

↓ Relieving pressure on A&E Attendance

↓ Relieving pressure on 111

↓ Reduction of people reaching crisis point

↓ Reduction in people being placed on 136 suite
(place of safety in police custody)

↓ Reduction in use of blue light services

↓ Reduction of loneliness

↓ Reducing stigma around mental health

↓ Reducing mental health hospital administrations

↓ Reduce out of county placements

↑ Mental health provision more accessible for all

↑ Ensure the right service for the right person
at the right time



In summary, we hope we have answered all your queries received to date.

I'm happy to take any further questions you may have.



 **Mind**
Norfolk and
Waveney



END OF PRESENTATION

