

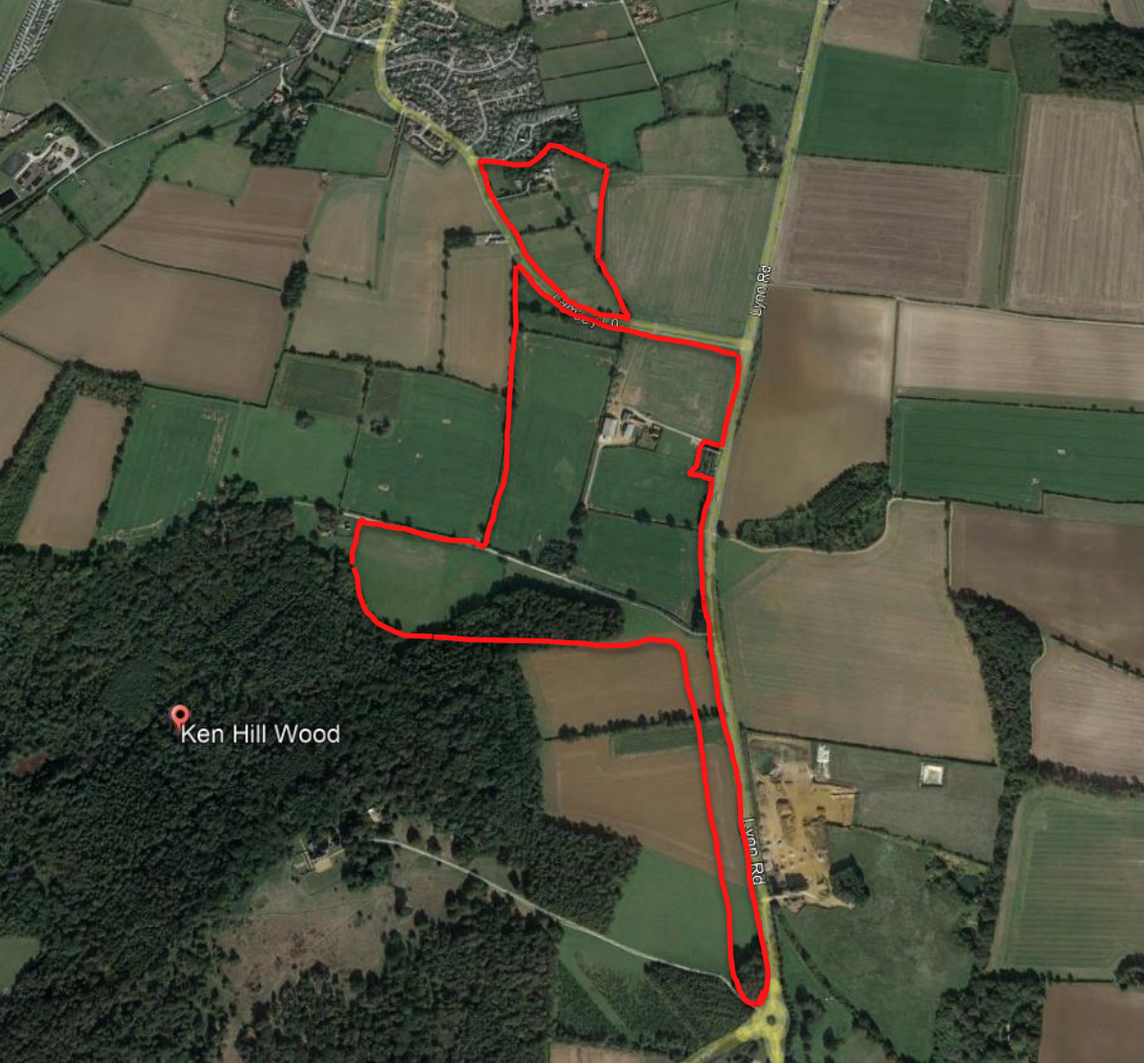
# Planning Committee

## 5 June 2023



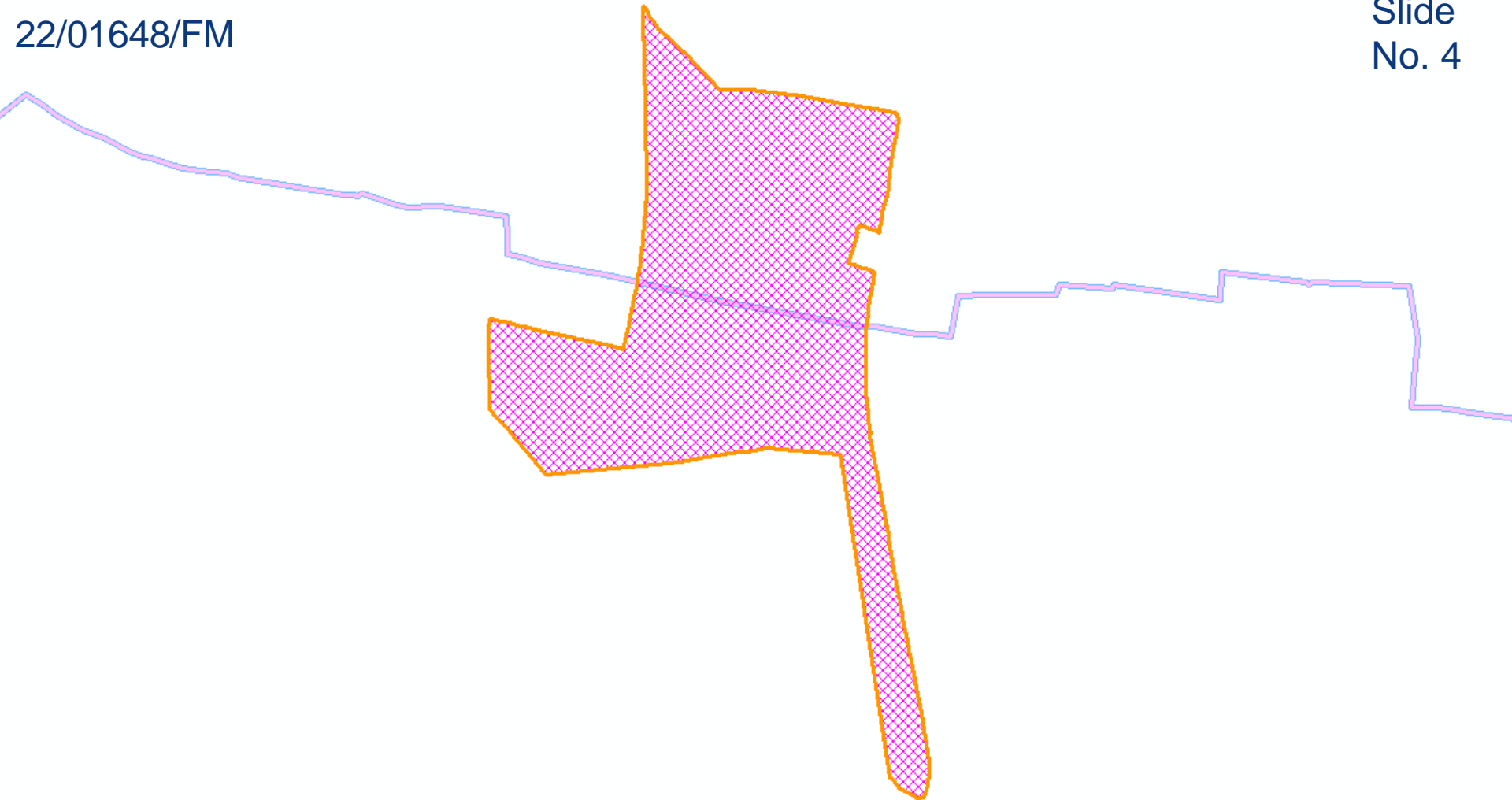
22/01648/FM



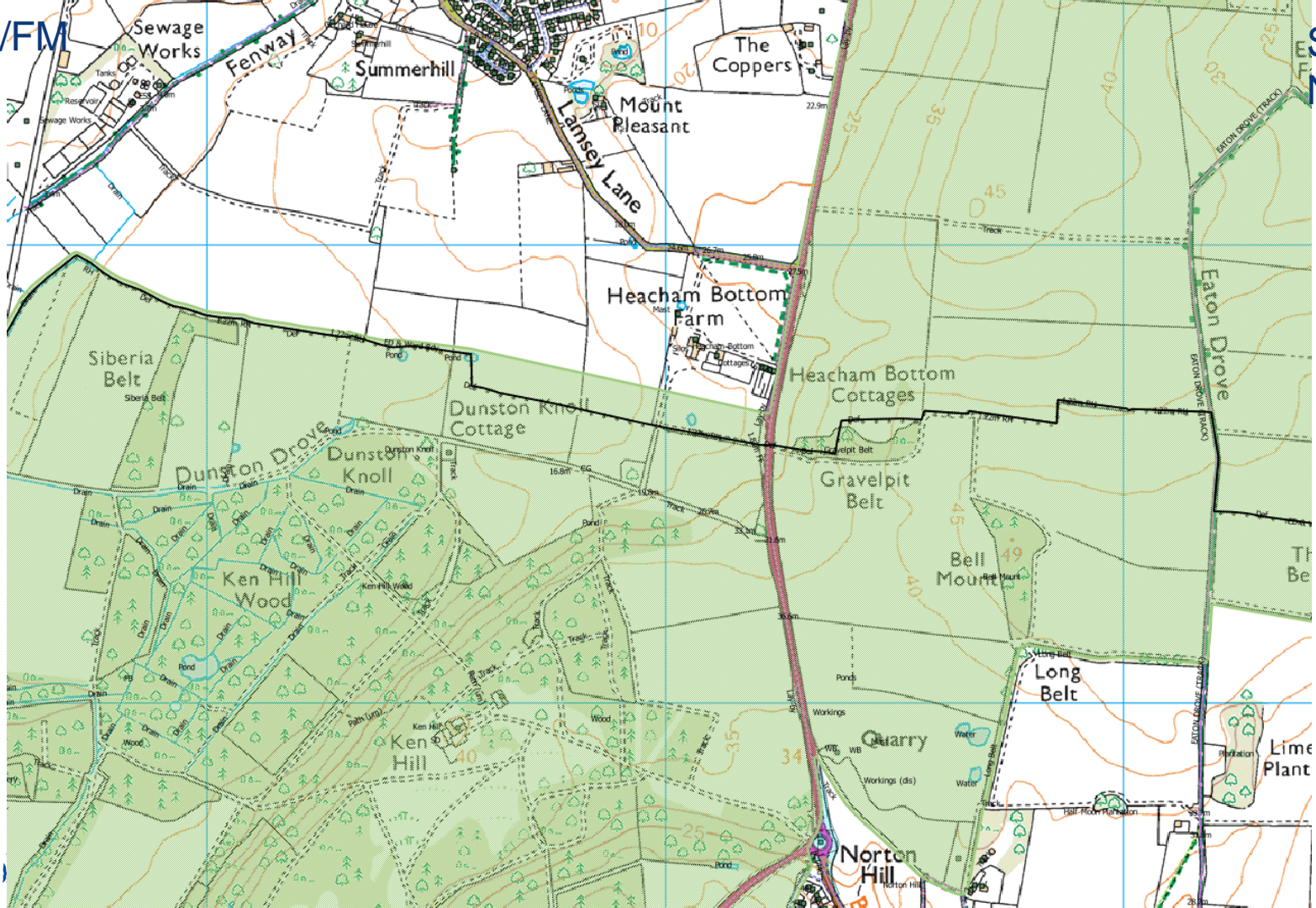


22/01648/FM









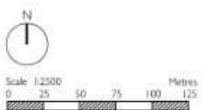




SITE MASTERPLAN 1 OF 2\_AS PROPOSED 1:2500 @ A3

Site Plan Key

- 1 Muster Point (For Nature Tours)
- 2 Retail / W.Cs (New Build)
- 3 Office / Retail
- 4 Covered Bike Parking
- 5 Main Visitor Building (New Build)
- 6 Outdoor F&B Seating
- 7 Pay Point
- 8 Indoor Play
- 9 Outdoor play
- 10 Wild Garden
- 11 Orchard Pasture
- 12 Woven Willow Art
- 13 Walking Trails
- 14 Tumuli
- 15 Dog Walking Area
- 16 Pump Trail
- 17 Woodland Pump Track
- 18 Woodland Trail
- 19 Glamping
- 20 Parking
- 21 Overspill Car Park



HEACHAM BOTTOM FARM  
 DRAWING PACKAGE  
 REVISION B  
 WILD KEN HILL  
 FEBRUARY 2021  
 PREPARED BY  
 RURAL SOLUTIONS LTD

SITE MASTERPLAN 2 OF 2\_AS PROPOSED 1:2500 @ A3

Site Plan Key

- 1 Woodland Pump Track
- 2 Woodland Trail
- 3 Glamping



GLAMPING SITE PLAN\_AS PROPOSED 1:750 @ A3

- Site Plan Key
- 1 Service Track
  - 2 Yurt
  - 3 Private Shower
  - 4 Treehouse Yurt
  - 5 Private W.C
  - 6 Facilities Block
  - 7 Kitchen Facility



HEACHAM BOTTOM FARM

DRAWING PACKAGE REVISION B

WILD REN HILL

FEBRUARY 2021

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DEMOLITION PLAN\_AS PROPOSED 1:750 @ A3

Site Plan Key

Area to be demolished  
1208 m<sup>2</sup>



Area to be demolished 222 m<sup>2</sup>



Area to be demolished 926 m<sup>2</sup>



Area to be demolished 60 m<sup>2</sup>



HEACHAM BOTTOM FARM

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REVISION B

WILD KEN HILL

FEBRUARY 2021

PREPARED BY:  
RURAL SOLUTIONS LTD

## SITE PLAN\_AS PROPOSED 1:750 @ A3

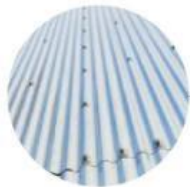
## Site Plan Key

- 1 Muster Point (For Nature Tours)
- 2 Retail / W/Cs (New Build)
- 3 Offices / Events Space
- 4 Bike Shop & Rental
- 5 Retail Unit
- 6 Covered Bike Parking
- 7 Main Visitor Building (New Build)
- 8 Outdoor F&B Seating
- 9 Pay Point
- 10 Indoor Play
- 11 Outdoor play
- 12 Wild Garden
- 13 Orchard Pasture
- 14 Woven Willow Art
- 15 Walking Trails
- 16 Tumuli
- 17 Parking
- 18 Delivery Entrance
- 19 Refuse Storage



VISITOR BUILDING ELEVATIONS\_AS PROPOSED 1:200 @ A3

Note: Air Source Heat Pump specific size  
and location to be confirmed



Profiled metal  
roof



Vertical standing  
seam cladding



Vertical profile  
cladding



South Elevation



East Elevation



North Elevation



West Elevation

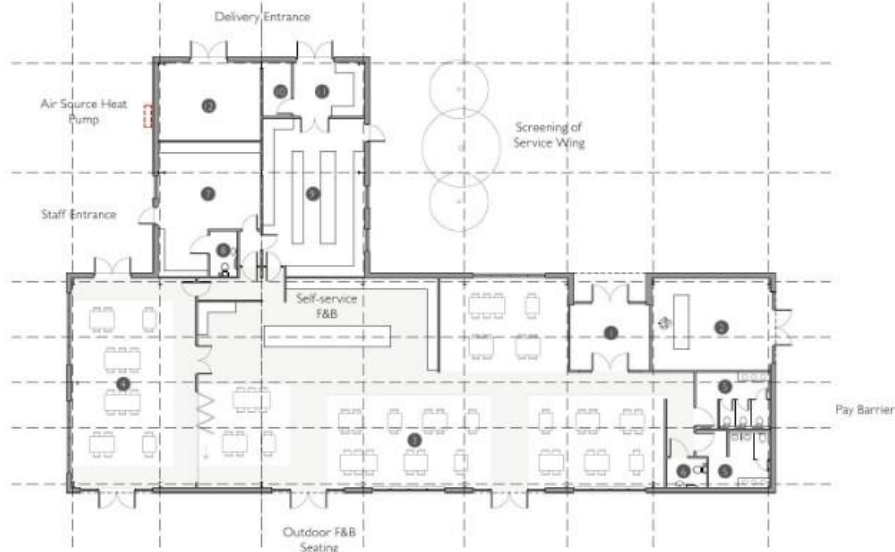




VISITOR BUILDING FLOOR PLAN\_AS PROPOSED 1:200 @ A3

- Floor Plan Key
- 1 Main Entrance
  - 2 Reception
  - 3 F&B Seating
  - 4 Flexible Space
  - 5 WC
  - 6 Accessible WC
  - 7 Staff Room / Kitchen
  - 8 Staff WC
  - 9 Kitchen
  - 10 Cold Store
  - 11 Store Room
  - 12 Plant Room

Note: Air Source Heat Pump specific size and location to be confirmed



Floor Plan



Proposed G.L.F.A 573 m<sup>2</sup>

HEACHAM BOTTOM FARM  
 DRAWING PACKAGE  
 REVISION B  
 WILD REN HILL  
 FEBRUARY 2023  
 PREPARED BY  
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Roof Plan Key

- 1 Profiled Metal Roof
- 2 Solar PV Panels

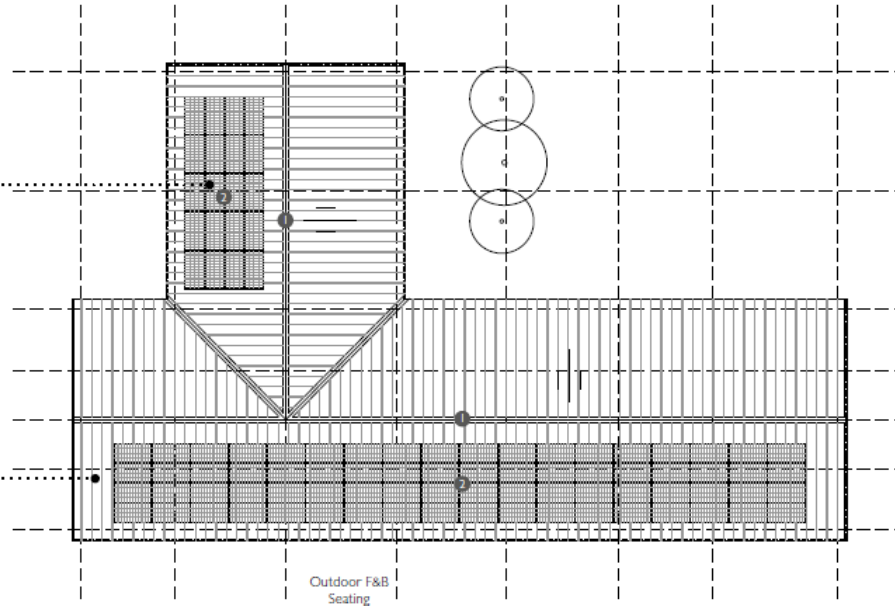
22/01648/FM



Solar PV Panels



Profiled metal  
roof



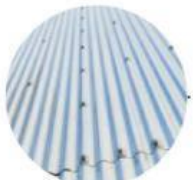
Roof Plan



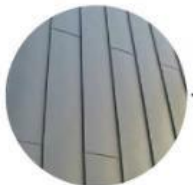
Scale 1:200  
0 2 4 6 8 10 Metres

RETAIL / W.Cs NEW BUILD ELEVATIONS\_AS PROPOSED 1:200 @ A3

Note: Air Source Heat Pump specific size and location to be confirmed



Profiled metal roof



Vertical standing seam cladding



Vertical profile cladding



South East Elevation



North West Elevation



South West Elevation



North East Elevation



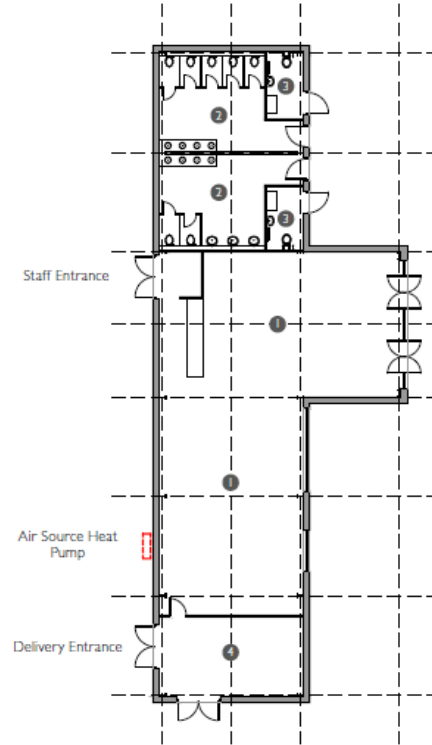
HEACHAM BOTTOM FARM  
DRAWING PACKAGE  
REVISION B  
WILD REN HILL  
FEBRUARY 2022  
PREPARED BY  
RURAL SOLUTIONS LTD

Floor Plan Key

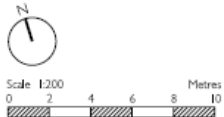
- 1 Retail Space
- 2 W.C
- 3 Accessible WC / Baby Changing
- 4 Storage

Note: Air Source Heat Pump specific size and location to be confirmed

22/01648/FM



Floor Plan



Roof Plan Key

- 1 Profiled Metal Roof
- 2 Solar PV Panels

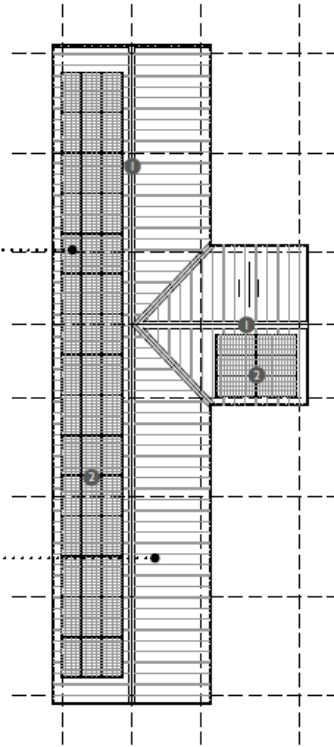
22/01648/FM



Solar PV Panels



Profiled metal  
roof



Floor Plan

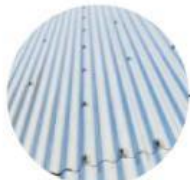


DRAWING PACKAGE REVISION B

WILD KEN HILL

FEBRUARY 2023

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Profiled metal roof



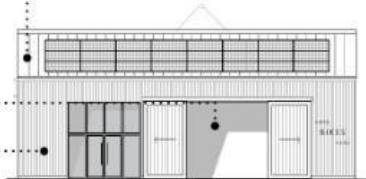
Sliding 'Barn' Doors



Vertical profile cladding



North Elevation



West Elevation

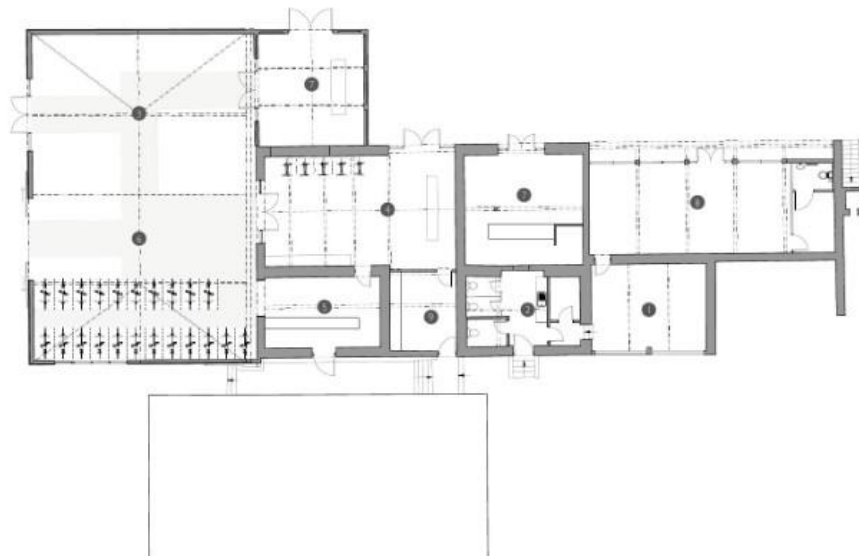


South Elevation



## Floor Plan Key

- 1 Office
- 2 Office Facilities
- 3 Covered Arrival Space
- 4 Bike Workshop / Retail
- 5 Bike Rental Office
- 6 Covered Bike Storage
- 7 Retail Unit
- 8 Corporate Event Space
- 9 Storage / Staff Room



Floor Plan



Scale 1:200  
0 2 4 6 8 10  
Metres

HEACHAM BOTTOM FARM

DRAWING PACKAGE  
REVISION B

WILD KEN HILL

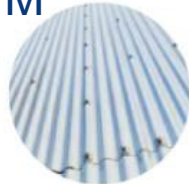
FEBRUARY 2023

PREPARED BY  
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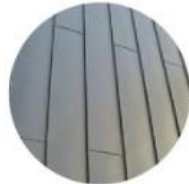
INDOOR PLAY ELEVATIONS\_AS PROPOSED 1:200 @ A3

22/01648/FM

Note: Air Source Heat Pump specific size and location to be confirmed



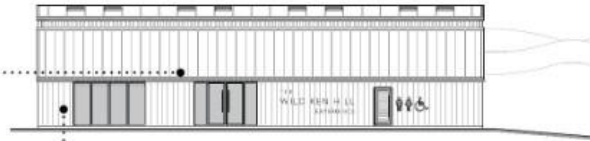
Profiled metal roof



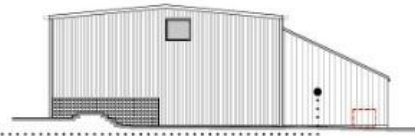
Vertical standing seam cladding



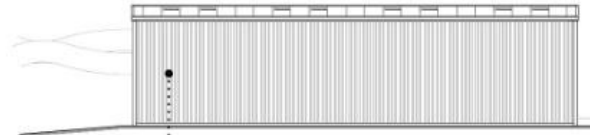
Vertical profile cladding



North West Elevation



North East Elevation



South East Elevation



South West Elevation



HEACHAM BOTTOM FARM

DRAWING PACKAGE  
REVISION B

WILD REN HILL

FEBRUARY 2023

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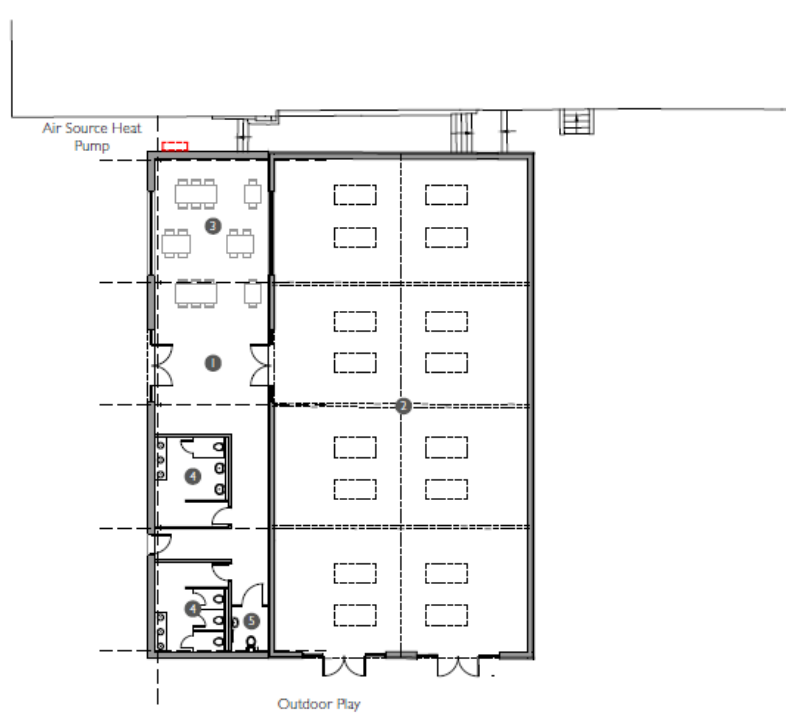


Floor Plan Key

- 1 Main Entrance
- 2 Indoor Play
- 3 Seating Area
- 4 W.C
- 5 Accessible W.C

Note: Air Source Heat Pump specific size and location to be confirmed

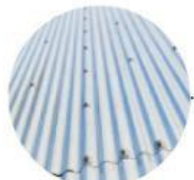
22/01648/FM



Floor Plan



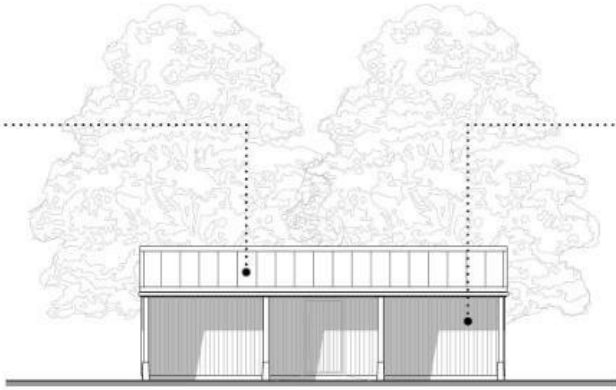
MUSTER POINT ELEVATIONS\_AS PROPOSED 1:100 @ A3



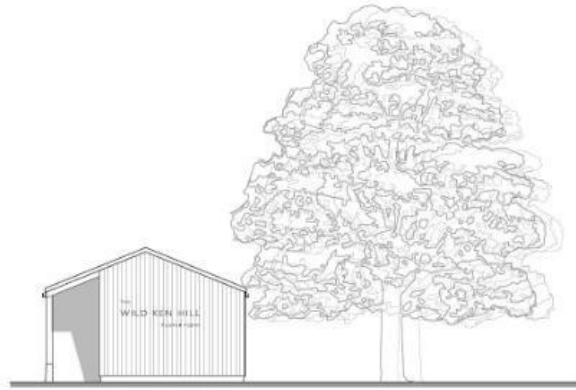
Profiled metal roof



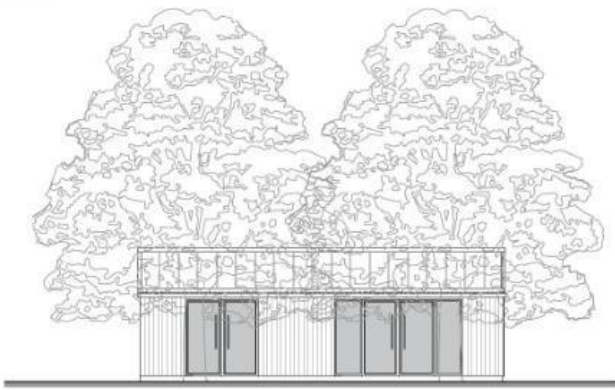
Vertical timber cladding



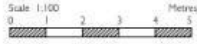
East Elevation



North / South Elevation



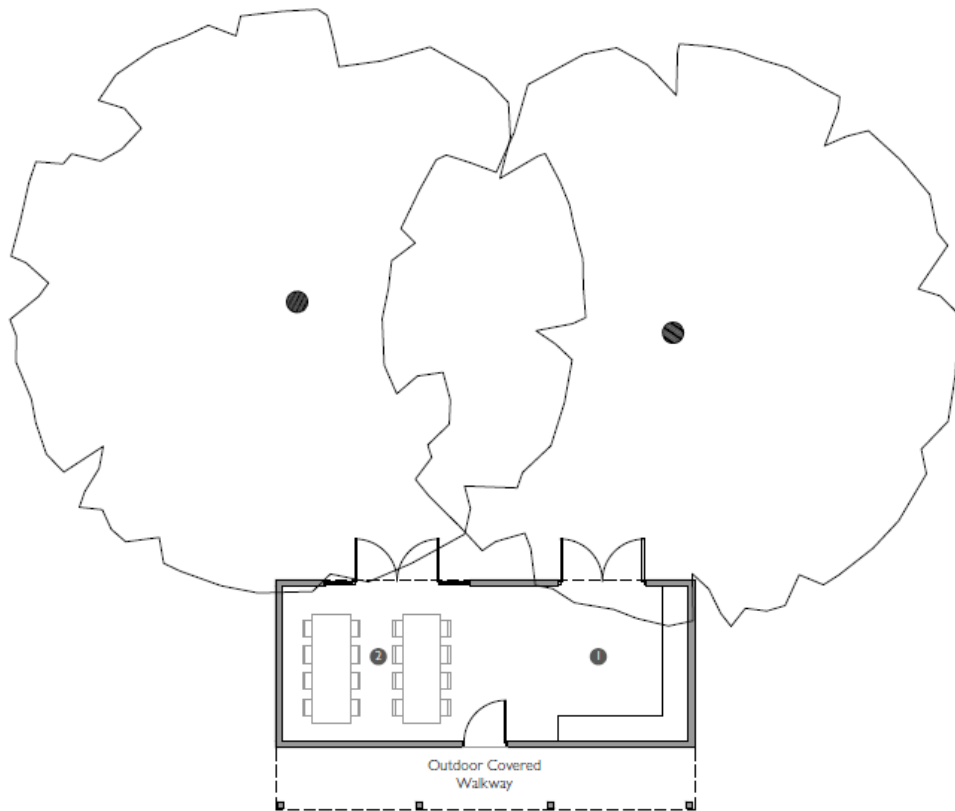
West Elevation



Floor Plan Key

- 1 Kitchen
- 2 Indoor Seating

22/01648/FM



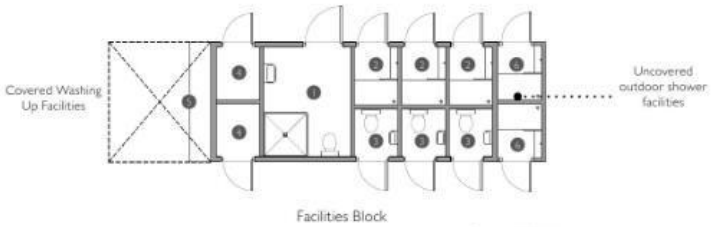
Floor Plan



GLAMPING FACILITIES PLANS & ELEVATIONS\_AS PROPOSED 1:100 @ A3

Facilities Block Floor Plan Key

- 1 Family Shower
- 2 Shower
- 3 WC
- 4 Store
- 5 Washing Up Station
- 6 Outdoor Shower



Facilities Block



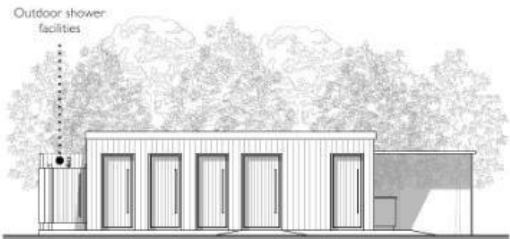
Profiled metal roof



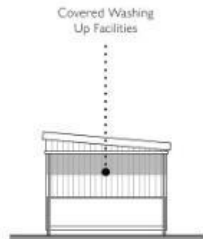
Vertical timber cladding



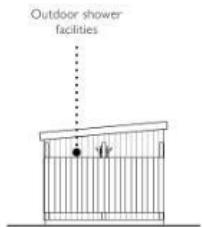
Vertical profile cladding



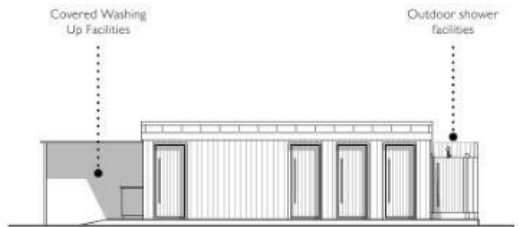
Front Elevation



Side Elevation



Side Elevation



Rear Elevation



DRAWING PACKAGE  
REVISION 8

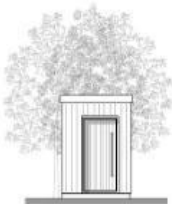
WILD KEN HILL

FEBRUARY 2023

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Private Shower



Front Elevation



Rear Elevation



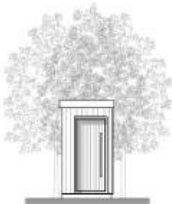
Side Elevation



Profiled metal  
roof



Private W.C.



Front Elevation



Rear Elevation



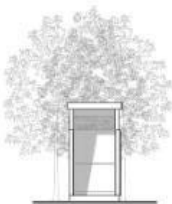
Side Elevation



Vertical timber  
cladding



Private Kitchen  
Facility



Front Elevation



Rear Elevation



Side Elevation



Vertical profile  
cladding



22/01648/FM

Slide No.  
26



View looking back to A149 along existing farm access



22/01648/FM

Slide No.  
27



View of farm buildings at proposed main complex



22/01648/FM

Slide No.  
28



View over proposed car park and up to the new access point





22/01648/FM

Slide No.  
29



View north/north-east, including part of the proposed car park

22/01648/FM

Slide No.  
30



Farm buildings and existing mast

22/01648/FM

Slide No.  
31



Further view looking back to the mast from inside the farmyard





22/01648/FM

Slide No.  
32



View of the farm buildings to be removed

22/01648/FM

Slide No.  
33



View south from the main complex with proposed play barn to the right



22/01648/FM

Slide No.  
34



Vista of field where glamping pods will go. Located adjacent the woodland





22/01648/FM

Slide No.  
35



Existing farm cottage. Glamping site off the slide to the left.

22/01648/FM

Slide No.  
36



View of where a couple of the glamping pods will be located to the left of the existing temporary structure





22/01648/FM

Slide No.  
37



Looking back to the main complex from the glamping pods



22/01648/FM

Slide No.  
38



Private farm track leading to the A149 – to be closed where it meets the A149



22/01648/FM

Slide No.  
39



Photo showing part of new off-road path running along the hedgerow



# Speakers Slide

## James Ellis





**Wild Ken Hill**, founded in 2019, is... a nature, climate, and community project which employs **rewilding and regenerative farming** side by side. We work on “developing a strong connection between people and nature, **providing visitors with a unique experience while protecting the environment**”

(NCC Experience Project comment on our proposals)

Since its inception, **Wild Ken Hill** has:

- Reached **millions of viewers** via the BBC’s Springwatch and Autumnwatch programmes
- Turned ‘**net zero**’ in 2022 and doubled average plant diversity in 3 years
- Welcomed children on **200 access days per year**, created **3** new jobs, **15** volunteering opportunities, **5** student placements, worked with mental health charities and hosted open days for local residents

**Wild Ken Hill** would like to...

- Host, engage, and educate a wider range of visitors and residents about our exciting **nature restoration work** with our new facilities
- Secure our long-term future with **sustainable new facilities** helping to fund our ongoing work
- Deliver an exemplar in high quality design that respects the local landscape:
  - **Norfolk County Council Protected Landscapes Team**: “We believe that the proposals submitted by Wild Ken Hill not only are compatible with the LAC (Limits of Acceptable Change) framework, but could be used as a case study for how the LAC should be applied, and even **an exemplar project to showcase externally**, including to other developers.”
  - **Norfolk Coast Partnership (AONB Team)**: “The NCP is supportive of development that serves to help **boost the local economy** and improve access to and understanding of the AONB whilst **protecting and enhancing the special qualities**”
- Create an additional **24 new jobs across two sites**
- Help to “Support delivery towards the **strategic tourism and economic objectives of the Borough Council**” (Borough Council Economic Team comments)
- Work with new and existing local supply chain businesses to create **economic benefits for the area**
- Deliver a new **2km+ off-road sustainable transport link** between Heacham and Snettisham for all to use
- Continue to lead the local and national response to **climate change and biodiversity loss**, whilst working with communities, schools and others to **leave a lasting environmental legacy whilst maximising community benefits**



Dominic Buscall  
Wild Ken Hill Founder



# Speakers Slide

## Dominic Buscall



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Dominic Buscall  
Wild Ken Hill Founder

22/01650/FM









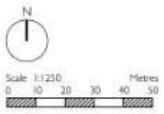
WIDER SITE PLAN\_AS PROPOSED 1:1250 @ A3

- Site Plan Key
- 1 Reception / Retail
  - 2 Storage
  - 3 Proposed Utility Building
  - 4 Courtyard
  - 5 Staff Accommodation
  - 6 Gardens
  - 7 Refuse Storage
  - 8 Black Waste Disposal
  - 9 Temporary Parking / Drop-Off
  - 10 Zone 3 - Serviced Handstanding Pitches
  - 11 Zone 4 - Bell Tent Pitches
  - 12 Zone 4 - Mixed Grass Pitches
  - 13 Recreation & Play Area

 Zone 3 - Serviced Handstanding Pitches - 20 Pitches

 Zone 4 - Bell Tents - 7 Pitches

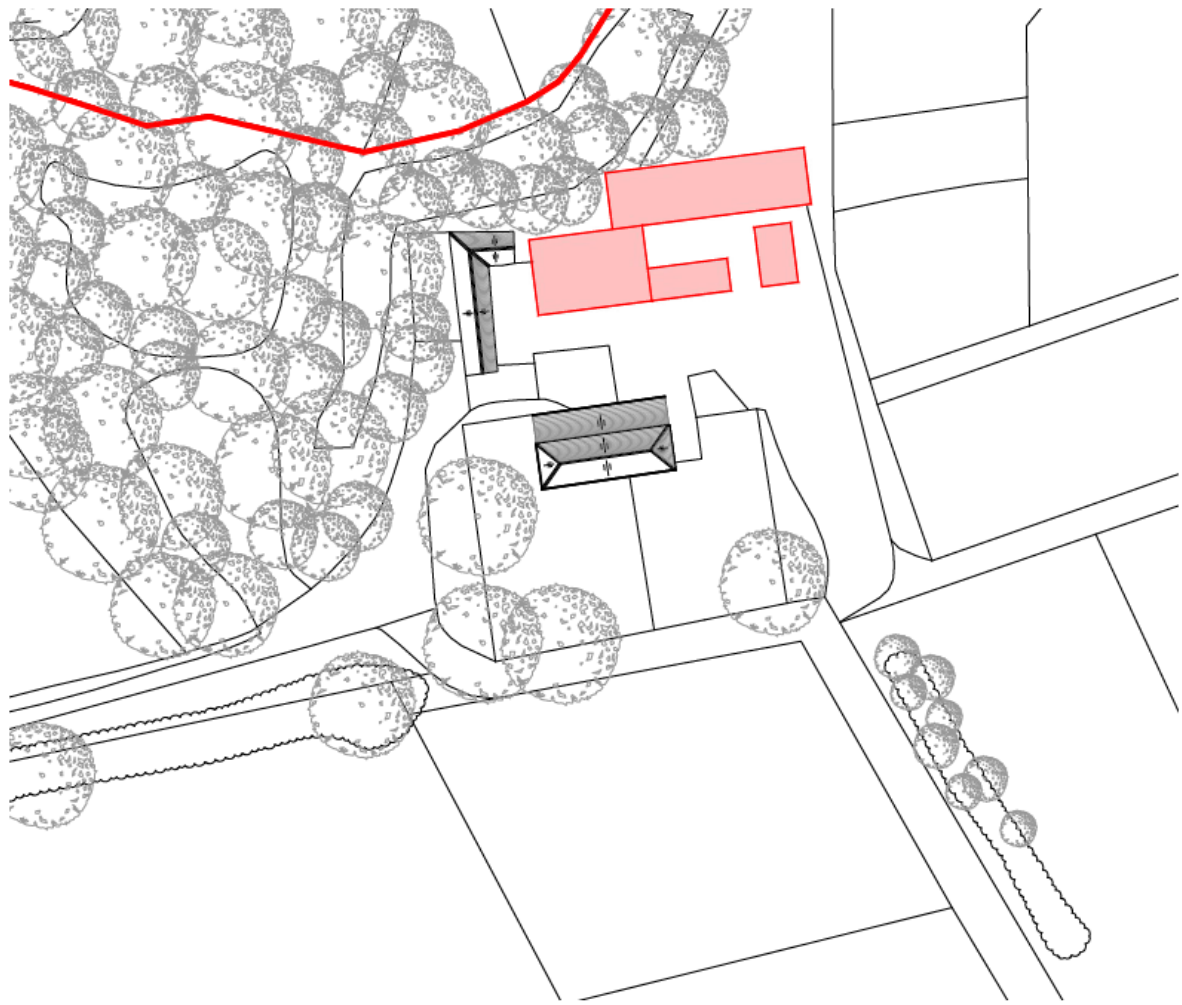
 Zone 4 - Mixed Grass Pitches - 40 Pitches



MOUNT PLEASANT  
DRAWING PACKAGE REVISION B  
WILD KEN HILL  
FEBRUARY 2022  
PREPARED BY RURAL SOLUTIONS LTD

Site Plan Key

Area to be demolished  
357 m<sup>2</sup>



MOUNT PLEASANT

DRAWING PACKAGE  
REVISION B

W.D. KEN HILL

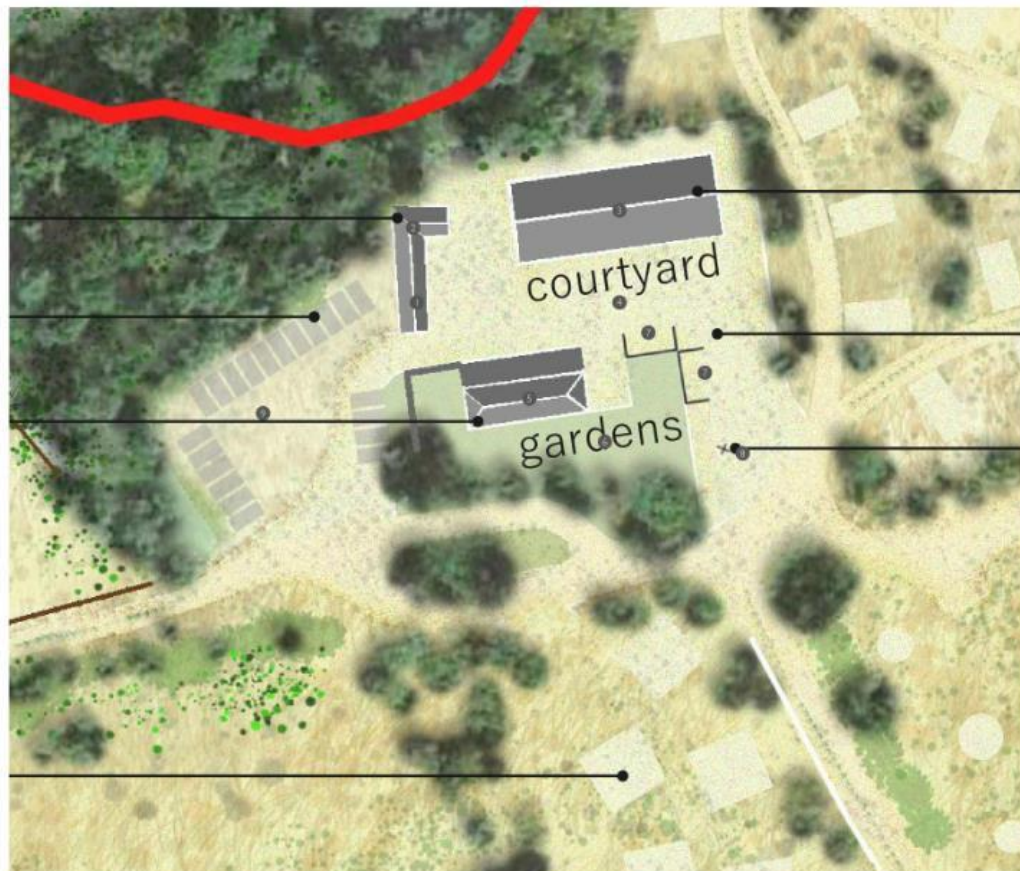
FEBRUARY 2023

PREPARED BY  
RURAL SOLUTIONS LTD

## SITE PLAN\_AS PROPOSED 1:500 @ A3

## Site Plan Key

- 1 Reception / Retail
- 2 Storage
- 3 Proposed Utility Building
- 4 Courtyard
- 5 Staff Accommodation
- 6 Gardens
- 7 Refuse Storage
- 8 Black Waste Disposal
- 9 Temporary Parking / Drop-Off

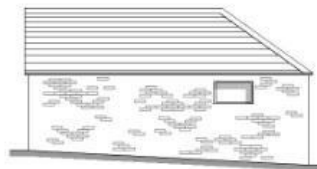




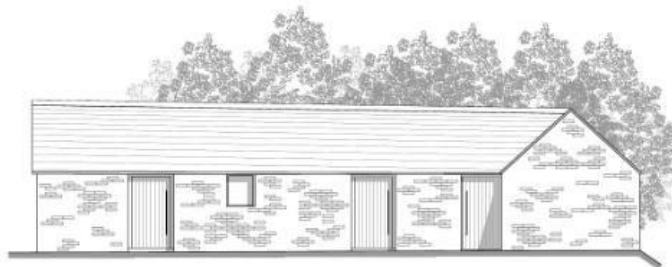
## RECEPTION BUILDING ELEVATIONS\_AS PROPOSED 1:100 @ A3

## Material Palette

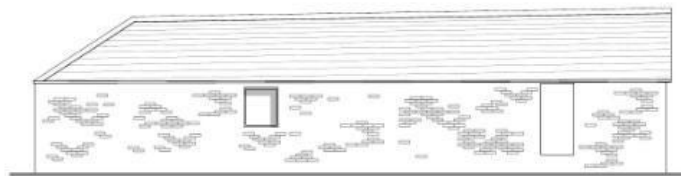
Walls - Local red brick  
 Doors & Windows - Painted timber  
 Roof - Red pantile  
 Rainwater goods - Black metal



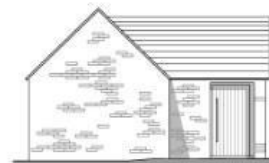
North Elevation



East Elevation



West Elevation



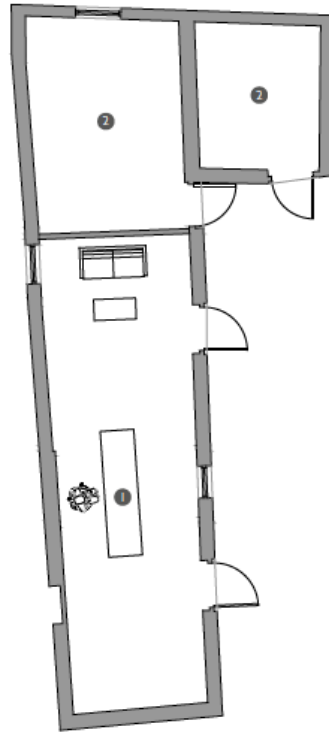
South Elevation



Floor Plan Key

- 1 Reception / Retail
- 2 Storage

22/01650/FM

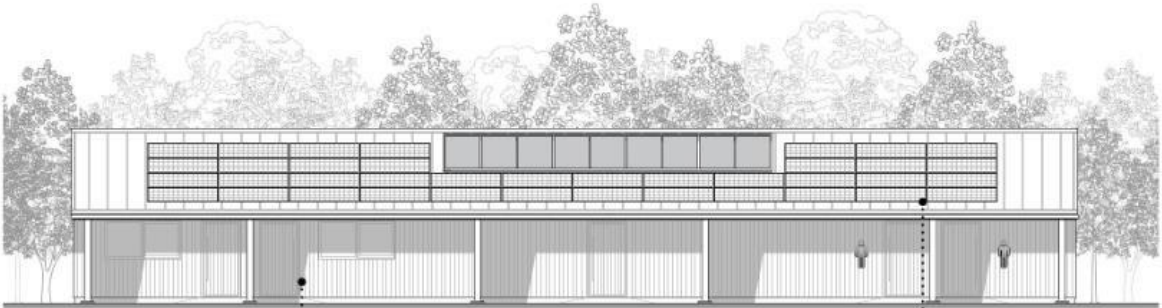


Floor Plan



UTILITY BUILDING ELEVATIONS\_AS PROPOSED 1:100 @ A3

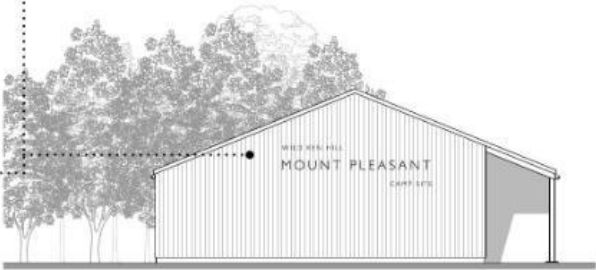
MOUNT PLEASANT  
DRAWING PACKAGE  
REVISION B  
WILD SEN HILL  
FEBRUARY 2023  
PREPARED BY  
RURAL SOLUTIONS LTD



South Elevation



Vertical profile cladding



West Elevation



Profiled metal roof



UTILITY BUILDING ELEVATIONS\_AS PROPOSED 1:100 @ A3

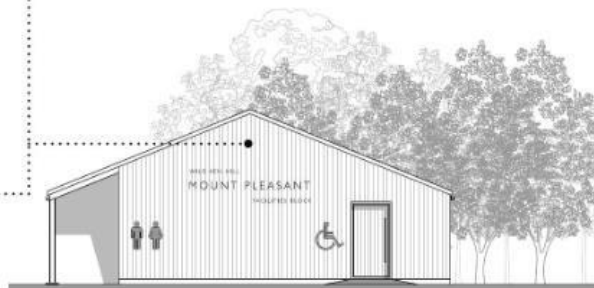
Note: Air Source Heat Pump specific size  
and location to be confirmed



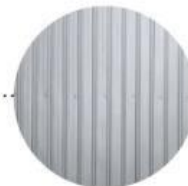
North Elevation



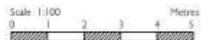
Vertical profile  
cladding



East Elevation



Profiled metal  
roof



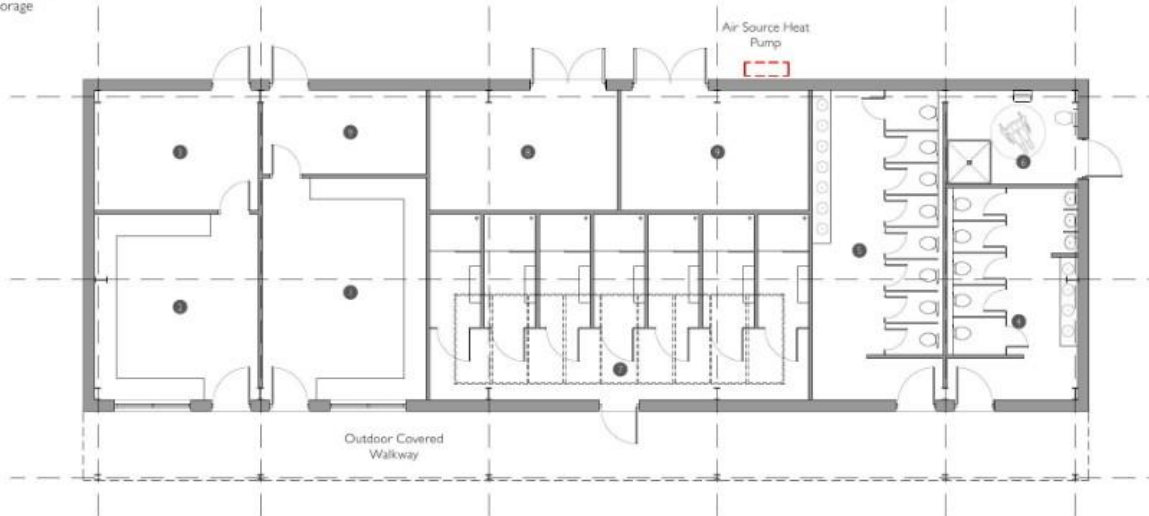


UTILITY BUILDING FLOOR PLAN\_AS PROPOSED 1:100 @ A3

Floor Plan Key

- 1 Kitchen / Wash-up
- 2 Utility
- 3 Drying Room
- 4 Male W.C
- 5 Female W.C
- 6 Accessible W.C / Shower
- 7 Showers
- 8 Plant Room
- 9 Storage

Note: Air Source Heat Pump specific size and location to be confirmed



Floor Plan



Proposed G.I.F.A 230 m<sup>2</sup>

22/01650/FM

Slide No.  
55



View down towards the access



22/01650/FM

Slide No.  
56



View from the top of the access across to proposed reception building





22/01650/FM

Slide No.  
57







View west down to Lamsey Lane



22/01650/FM

Slide No.  
59





22/01650/FM

Slide No.  
60



Existing equestrian buildings to be removed



22/01650/FM

Slide No.  
61



Farmhouse to be used as staff accommodation



22/01650/FM

Slide No.  
62



Farmhouse and equestrian buildings seen together



22/01650/FM

Slide No.  
63



Grass pitches to the right of the photo



22/01650/FM

Slide No.  
64



22/01650/FM

Slide No.  
65



View towards the farm/equestrian complex from the touring caravan site





22/01650/FM

Slide No.  
66



View of extended caravan site to the north



# Speakers Slide

## James Ellis



**Wild Ken Hill**, founded in 2019, is... a nature, climate, and community project which employs **rewilding and regenerative farming** side by side. We work on “developing a strong connection between people and nature, **providing visitors with a unique experience while protecting the environment**”

(NCC Experience Project comment on our proposals)

Since its inception, **Wild Ken Hill** has:

- Reached **millions of viewers** via the BBC’s Springwatch and Autumnwatch programmes
- Turned ‘**net zero**’ in 2022 and doubled average plant diversity in 3 years
- Welcomed children on **200 access days per year**, created **3** new jobs, **15** volunteering opportunities, **5** student placements, worked with mental health charities and hosted open days for local residents

**Wild Ken Hill** would like to...

- Host, engage, and educate a wider range of visitors and residents about our exciting **nature restoration work** with our new facilities
- Secure our long-term future with **sustainable new facilities** helping to fund our ongoing work
- Deliver an exemplar in high quality design that respects the local landscape:
  - **Norfolk County Council Protected Landscapes Team**: “We believe that the proposals submitted by Wild Ken Hill not only are compatible with the LAC (Limits of Acceptable Change) framework, but could be used as a case study for how the LAC should be applied, and even **an exemplar project to showcase externally**, including to other developers.”
  - **Norfolk Coast Partnership (AONB Team)**: “The NCP is supportive of development that serves to help **boost the local economy** and improve access to and understanding of the AONB whilst **protecting and enhancing the special qualities**”
- Create an additional **24 new jobs across two sites**
- Help to “Support delivery towards the **strategic tourism and economic objectives of the Borough Council**” (Borough Council Economic Team comments)
- Work with new and existing local supply chain businesses to create **economic benefits for the area**
- Deliver a new **2km+ off-road sustainable transport link** between Heacham and Snettisham for all to use
- Continue to lead the local and national response to **climate change and biodiversity loss**, whilst working with communities, schools and others to **leave a lasting environmental legacy whilst maximising community benefits**



Dominic Buscall  
Wild Ken Hill Founder

# Speakers Slide

## Dominic Buscall





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Dominic Buscall  
Wild Ken Hill Founder

**22/02113/F**





Existing Site Plan  
Scale 1:200

Rev	Date	Description	Drawn
-----	------	-------------	-------



3 Ermoor Court, Buntingford, Norfolk, PE33 8FD  
 Tel: 01263 738239  
 Web: www.strataarchitecture.com

Project:  
 Terms  
 49 Peddars Way  
 Holme next the Sea  
 PE36 6LD  
 Title  
 Extension and Alterations to Dwelling  
 Existing Site Plan

Scale(s) As shown @ A2 Date 28.07.2021

Drawn:	EA	Checked:	JL
--------	----	----------	----

Drawing issued for: Planning

Drawg No:	571-100	Rev:	-
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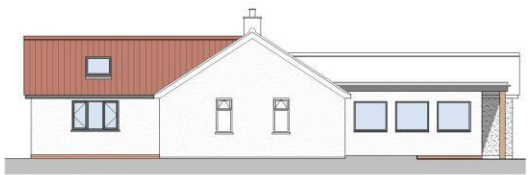
Copyright of this drawing is retained by Strata Architecture.  
 All dimensions must be checked on site by the Contractor.



Rev.	Date	Description	Drawn
A	07.07.21	Site levels to remain as existing	JN
B	28.07.21	Roof windows and dimensions	JN
C	28.09.2021	Drawing updated to suit Comments	EA
D	01.01.2022	Drawings updated	EA



Proposed West Elevation  
Scale 1:100



Proposed North Elevation  
Scale 1:100

**Materials**

- Roof - Red clay pan tiles
- Facade - Grey to be proposed and replace existing
- Walls - Grey Marley Cedral Boarding
- Walk - Off white render to existing walls
- Timber - Post to support first floor
- Roof Windows - Anthracite Grey to be proposed
- Windows & Doors - Anthracite Grey to be proposed and replacing existing



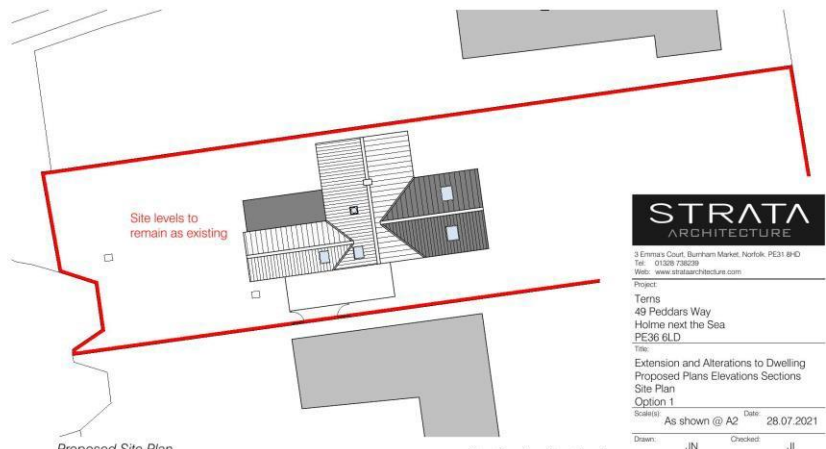
Proposed East Elevation  
Scale 1:100



Proposed South Elevation  
Scale 1:100



Proposed Ground Floor Plan  
Scale 1:100



Proposed Site Plan  
Scale 1:250



3 Ermoor Court, Burnham Market, Norfolk, PE33 8HD  
Tel: 01263 736239  
Web: www.strataarchitecture.com

Project:  
Terms  
49 Peddars Way  
Holme next the Sea  
PE36 6LD  
Title:  
Extension and Alterations to Dwelling  
Proposed Plans Elevations Sections  
Site Plan  
Option 1

Scale(s): As shown @ A2 Date: 28.07.2021

Drawn: JN Checked: JL

Drawing issued for: Building Regulation

Draw No: 571-02 Rev: -

Copyright of this drawing is retained by Strata Architecture. All dimensions must be checked on site by the Contractor.





Front of Terns showing extension behind garage

22/02113/F

Slide No.  
75



Northern front boundary of the site



22/02113/F

Slide  
No. 76



View from neighbouring site No.51 to the south





22/02113/F

Slide  
No. 77



View of dwelling in the street scene





Wider context view of application site





View of extension from the rear of the dwelling













Separation between extension and No.51 from the rear side





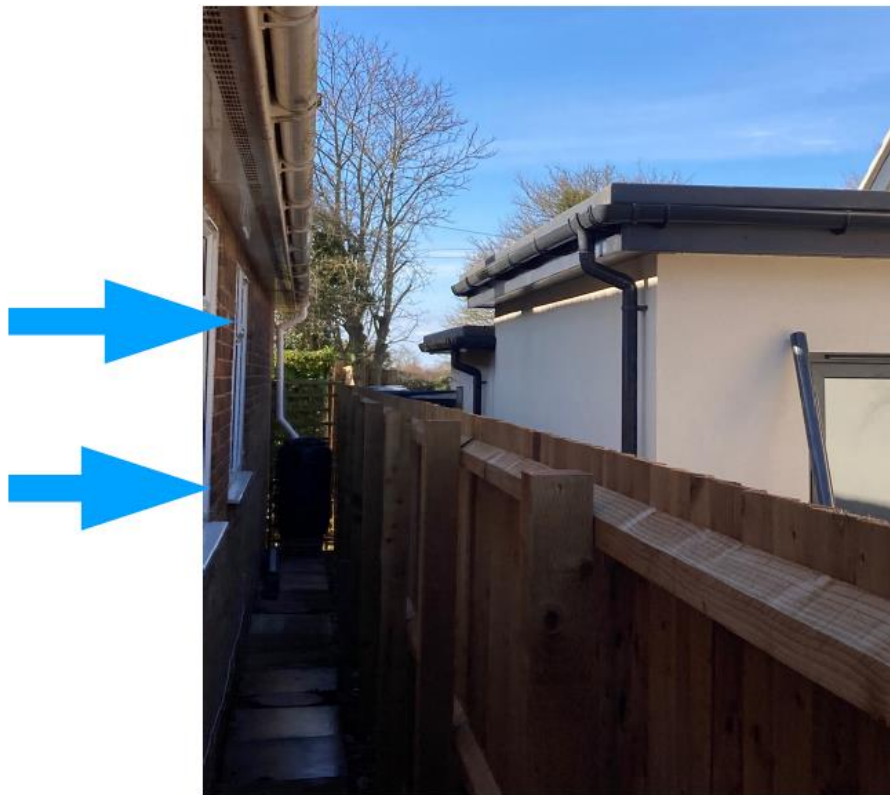
Separation between extension and No.51 from the front side

# Speaker Sandra Betterton





Our two windows are clearly seen on left hand side  
The gap between the two properties: 0.85m on my side  
and one metre on No 49



# The overbearing and dominant impact of the new extension one of my rooms



**Difference of height  
between the newly  
built garage and the  
new extension  
demonstrates how  
much higher the  
extension is now**

**Depth of the eaves  
and guttering not only  
impacts visually but  
directly effects the  
amount of light into  
our rooms**





# In Summary

- **Very close proximity between our home and the extension**
- **Dominating and overbearing impact on our neighbour amenity**
- **Demonstrable reduction in daylight and sunlight**
- **Effect the whole process has had on our health and wellbeing**

# Speakers Slide Wendy Norman Parish Council





A technical test isn't needed to show the extension causes significant harm to the outlook, light and amenity from the neighbours living rooms .

There is not even space to mitigate the visual impact by reinstating a green boundary.



**22/02214/F**









22/02214/F

Slide  
No. 94



Street scene of Station Road looking south

22/02214/F

Slide  
No. 95



Street scene of Station Road looking north





Looking over the site from the access point





View of site from Station Road. Buried foundations on right half of site



22/02214/F

Slide  
No. 98



View of hardcore on south half of site





Standing at the south boundary of the site looking north





Standing in the site looking back towards the point of access



22/02214/F

Slide  
No. 101



Earth bund on south boundary with vegetation

# Speakers Slide

## Mr Wilkie













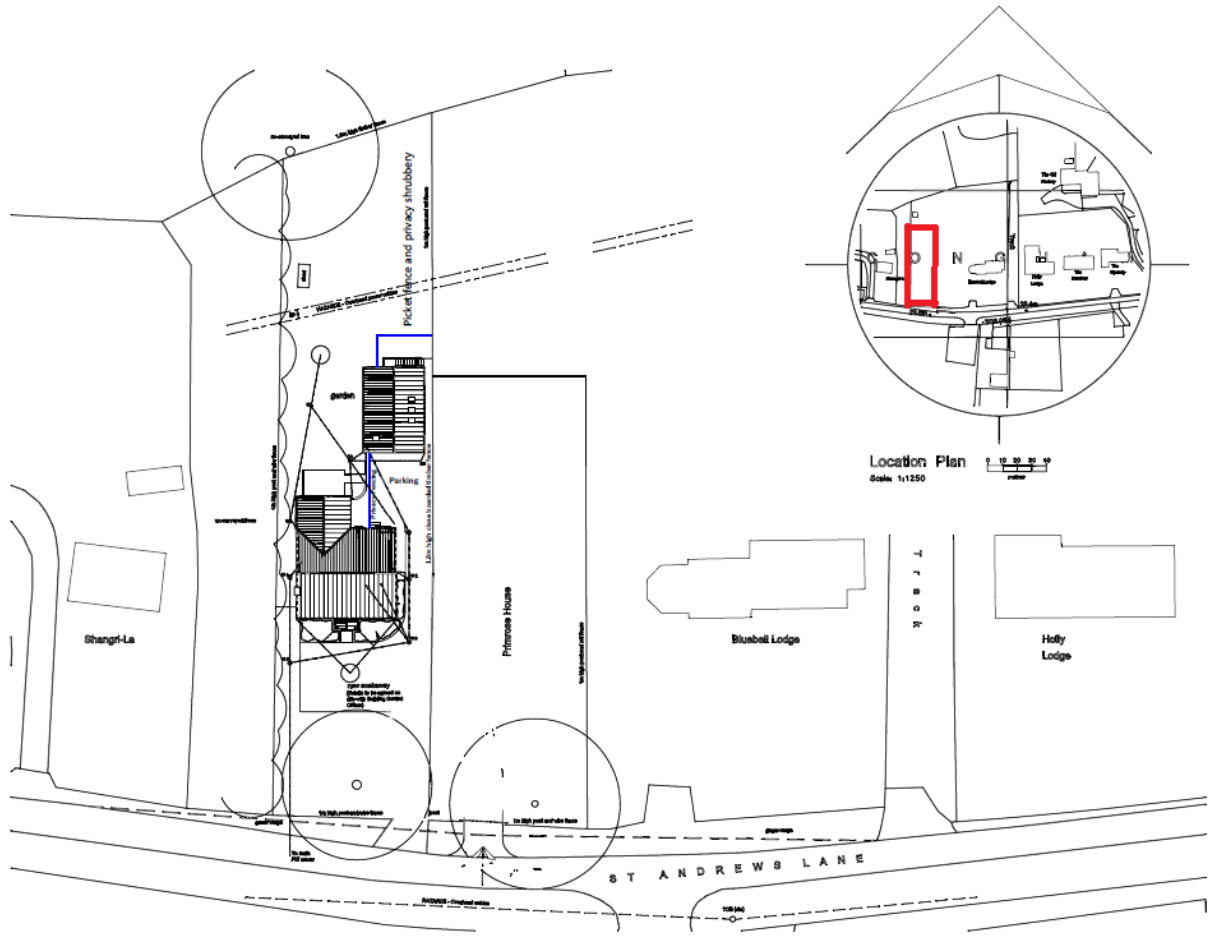






**23/00271/F**





- General Notes**
- The ground level is as shown, unless otherwise stated.
  - The dimensions are approximate and subject to any alterations on the site to be determined.
  - The ground level is as shown in the site plan unless otherwise stated.
  - Any dimensions are in millimetres unless otherwise stated.
  - All structural elements are to be designed by a chartered structural engineer where required.
  - All dimensions are to brick, openings/doors.
  - All elevations are shown in full and are to be detailed separately in accordance with chartered building construction.
  - Structural positions and areas are indicative only and are to be designed by a chartered structural and foundation engineering contractor ensuring suitable methods can be achieved.
  - The new finished floor level of the dwelling is to be set at minimum of 500mm above existing ground levels.
  - Project to be in full accordance with approved arboriculture report.
- Construction and Access**
- A 1000mm high fence and 1000mm high picket fence has been marked out for this development. These elements are not to be considered as part of any development plan to be submitted.

**SITE PLAN KEY**

	Existing proposed area boundary
	Existing building footprint
	Existing walls
	Existing windows
	Existing doors
	Existing roof structure
	Existing floor structure
	Existing site boundary
	Existing site boundary

Location Plan  
Scale: 1:1250

Site Plan  
Scale: 1:200

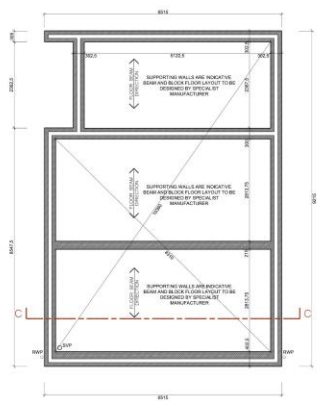
FOR APPROVAL

**SWANN EDWARDS**  
ARCHITECTURE

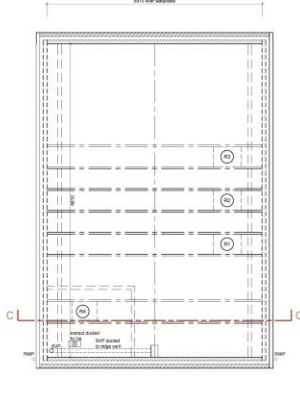
1000mm high fence and 1000mm high picket fence

Proposed New Dwelling  
Level 1st Floor  
1000mm high fence and 1000mm high picket fence

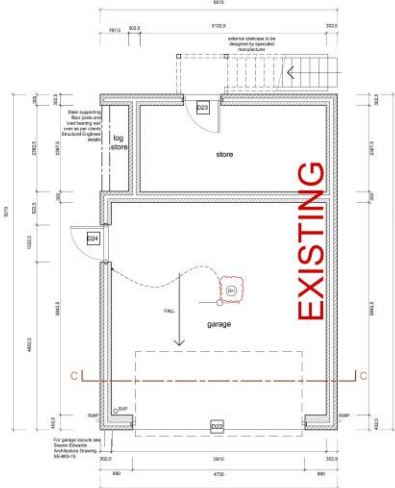
Plot No.	1000mm high fence and 1000mm high picket fence
Plot No.	1000mm high fence and 1000mm high picket fence



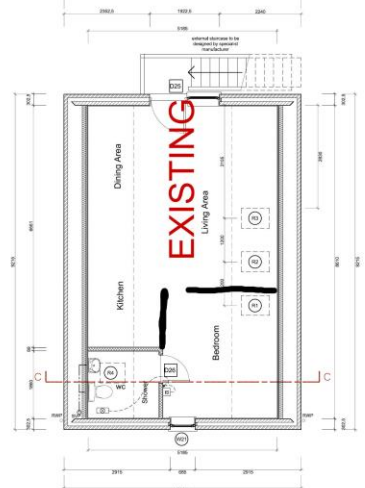
Sub-Structure Layout  
Garage - Scale: 1:50



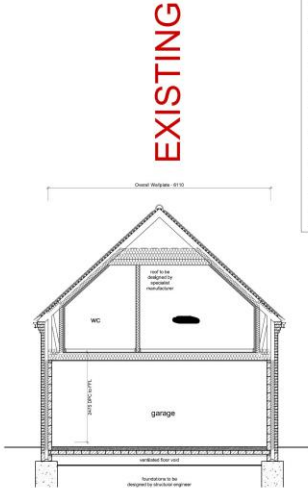
Roof Layout  
Garage - Scale: 1:50



Ground Floor Plan  
Garage - Scale: 1:50



First Floor Plan  
Garage - Scale: 1:50



Section C-C  
Garage - Scale: 1:50

PLAN KEY

○	SOIL AND VENT PIPE
○	STUB STACK
■	FLOOR MANHOLE (DIRECT CONNECTION)
■	RAINWATER PIPE
□	BACK INLET GULLY
✕	WATER STOP VALVE
○	DOOR REFERENCE NUMBER
○	WINDOW REFERENCE NUMBER
○	OPENING REFERENCE NUMBER

SERVICES KEY

○	CARBON MONOXIDE DETECTOR
○	SMOKE DETECTOR
○	HEAT DETECTOR
○	DISTRIBUTION BOARD
○	EXTRACT FAN - CEILING MOUNTED
○	EXTRACT FAN - WALL MOUNTED
○	EXTRACT FAN - ISOLATION SWITCH
○	LOW ENERGY PENDANT LUMINAIRE
○	LOW ENERGY SURFACE OR RECESSED LUMINAIRE
○	LOW ENERGY RECESSED SPOT LIGHTS
○	150mm SINGLE LAMP SURFACE MOUNTED LUMINAIRE
○	EXTERNAL LUMINAIRE
○	SWITCHED SOCKET OUTLET
○	TWO SWITCHED SOCKET OUTLET
○	THREE SWITCHED SOCKET OUTLET OVER WORKTOP
○	SWITCHED FUSED CONNECTION
○	NON SWITCHED FUSED CONNECTION
○	SWITCHER DEVICE
○	COOKER SWITCH
○	WALL MOUNTED SHOWER LAMP
○	DOOR BELL PUSH
○	DOOR BELL SOUNDER
○	TELEPHONE OUTLET
○	THERMAL OUTLET
✓	ONE WAY SWITCH
✓	TWO WAY SWITCH
✓	INTERMEDIATE SWITCH
✓	ONE WAY CEILING SWITCH
○	RADIATOR
○	HEATED TOWER BAIL

- General Notes
- The drawings shall not be scaled, figured dimensions only to be used.
  - The drawings shall not be used to construct, unless approved in writing by the contractor, sub-contractor and suppliers must verify all dimensions on-site prior to the commencement of any work.
  - The drawings are to be read in conjunction with all relevant engineers and specialist sub-contractors drawings and specifications.
  - Any dimensions not to be brought to the attention of the contractor.
- All structural elements are to be designed by clients structural engineer when required.
  - All dimensions are to brick openings/courses.
  - All kitchens are shown indicatively and are to be detailed separately in conjunction with clients kitchen manufacturer.
  - Electrical positions and sizes are indicative only and are to be designed by clients Mechanical & Electrical contractor ensuring furniture layouts can be achieved.
  - The new Finished Floor Level of the dwelling is to be set at minimum of 150mm above existing ground levels.
  - Project to be in full accordance with approved archaeology report.

WALL KEY

■	SUB-STRUCTURE BLOCKWORK EXTERNAL WALL
■	SUB-STRUCTURE BLOCKWORK EXTERNAL FRONT WALL
■	SUB-STRUCTURE BLOCKWORK SLEEPER WALL
■	EXTERNAL WALL
■	EXTERNAL WALL
■	INTERNAL WALL - BLOCKWORK
■	INTERNAL WALL - STUCCO

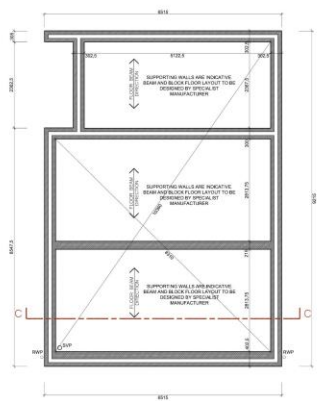
Revisions  
A May 2018 Fire detection added to garage

Status  
FOR APPROVAL

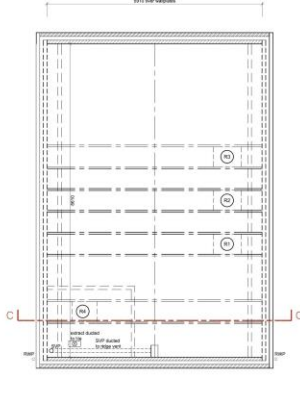
**SWANN EDWARDS ARCHITECTURE**  
 Swanwick House, 110 Swanwick Lane, Gt. Yarmouth, Norfolk, NR11 1AA  
 01509 40000 & 01509 40001

Prepared: New Drawing	Date: 2018	Drawn: P. Shaw
Land Adj: Bristol Lodge	Issue: 01	Rev: A1
30 Andrew Lane, Gt Yarmouth, Norfolk	Client: The Building Regulator	Project: 23/00271/F
Scale: 1:50	Drawn: P. Shaw	Project: 23/00271/F

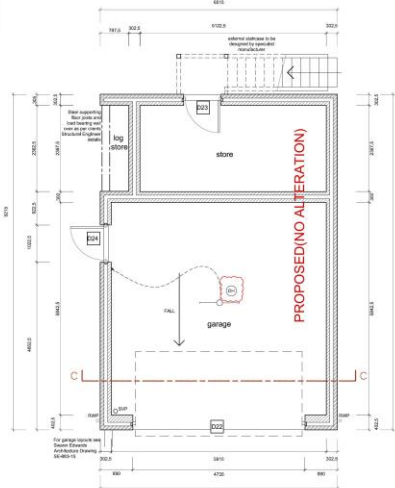




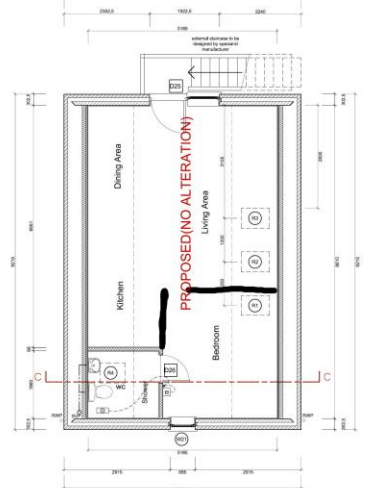
Sub-Structure Layout  
Garage - Scale: 1:50



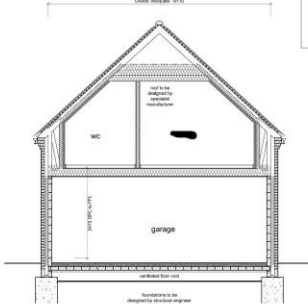
Roof Layout  
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Ground Floor Plan  
Garage - Scale: 1:50



First Floor Plan  
Garage - Scale: 1:50



Section C-C  
Garage - Scale: 1:50

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■	SUB-STRUCTURE BLOCKWORK SLEEPER WALL
■	EXTERNAL WALL
■	EXTERNAL WALL
■	INTERNAL WALL - BLOCKWORK
■	INTERNAL WALL - STUCCO

Revisions

A	May 2018	Fire detection added to garage
---	----------	--------------------------------

FOR APPROVAL

**SWANN EDWARDS ARCHITECTURE**

SWANN EDWARDS ARCHITECTURE  
15-17 THE SQUARE, GUILDFORD, GU1 1AA

Prepared	15/01/18	Drawn	15/01/18
Checked	15/01/18	Reviewed	15/01/18
Approved	15/01/18	Project No.	21







South elevation of garage

















Rear elevation in relation to neighbouring property to the east





Existing boundary fence







Rear elevation of host property







West elevation of garage















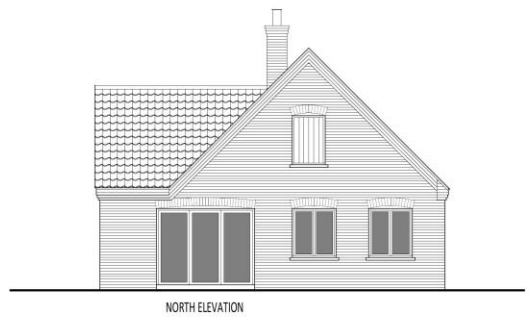
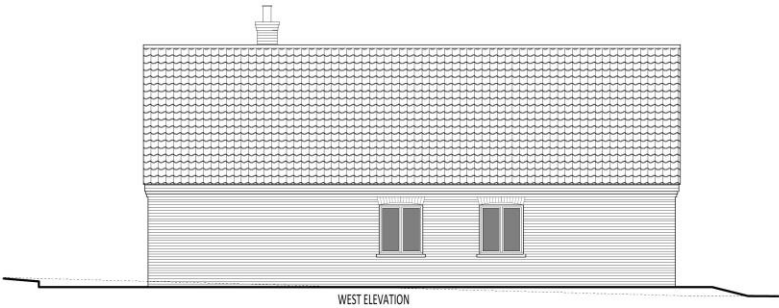
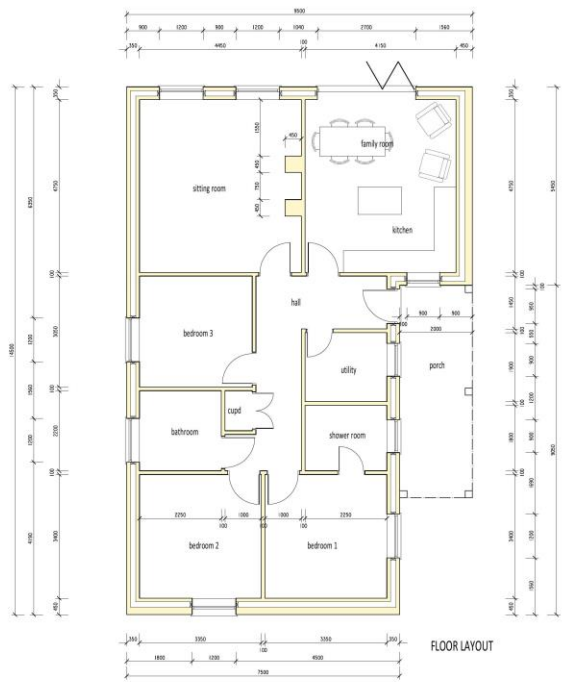
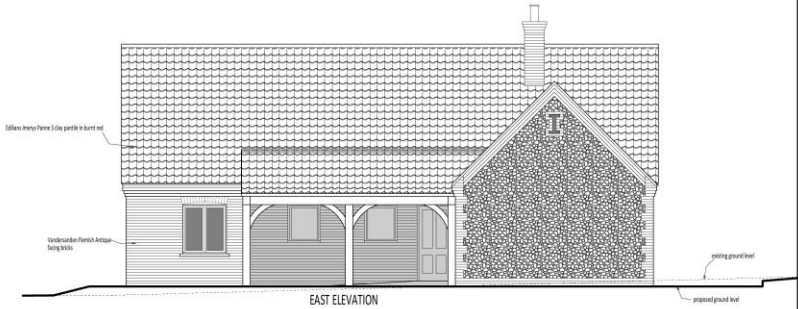
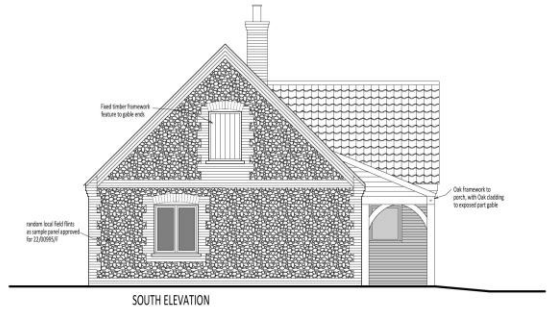


**23/00078/F**









Original drawing created using AutoCAD software. Digital drawing size: A1, Drawing scale: 1:50

0 0.5 1 1.5 2 2.5 3m

**PROPOSED DWELLING AT  
HIGH STREET  
FINCHAM  
PE33 9EL**

**MIKE HASTINGS Building Design**  
58 Sluice Road, Denver,  
Downham Market  
Norfolk PE33 0DT  
Tel: 01263 388715  
e-mail: mail@mikehastings.co.uk

Date:	Issue 2023
14464(A)	Issue 2023 - on design



Application site, stood on High Street looking north







View from High Street looking northeast towards site





Application site, stood on car park looking south east

















View east along High Street

**23/00273/F**





**Location Plan**  
Scale 1:1250  
© Crown Copyright and database rights 2022  
OS 100047474



**Existing Block Plan**  
Scale 1:500  
© Crown Copyright and database rights 2022  
OS 100047474



**Proposed Block Plan**  
Scale 1:500  
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OS 100047474



		74 Cardiff Road, CF15 7QE • Enquiries@ArkiPlan.co.uk	
		Date	08.02.2023
Site	44 South Moor Drive, Heacham PE31 7BW	Sheet	23-0139_D01_REV 02
		Job	New Extension & Garage Conversion
		Scale	As Shown@A1
Title Number	-	Title	As Shown



# EXISTING



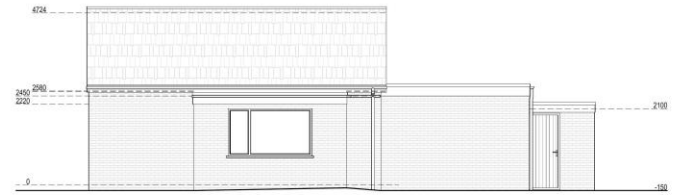
Existing Southwest Elevation  
Scale 1:50



Existing Northwest Elevation  
Scale 1:50




Existing Northeast Elevation  
Scale 1:50

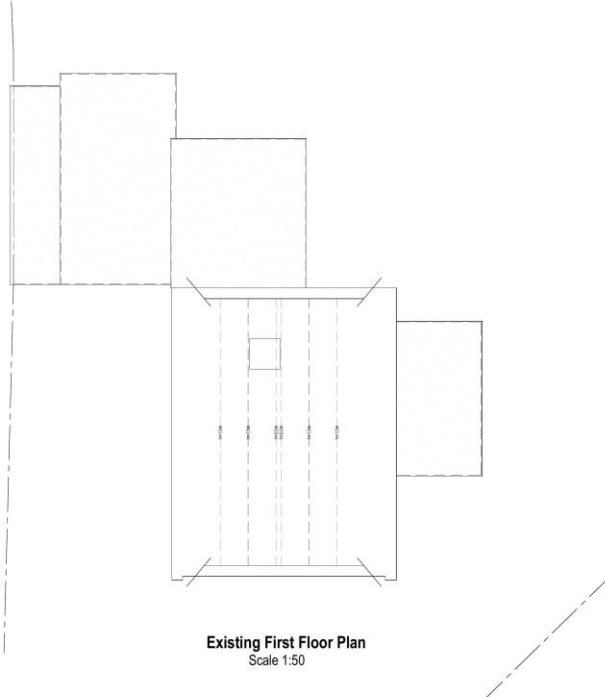


Existing Southeast Elevation  
Scale 1:50




 74 Cardiff Road, CF15 7QE • Enquiries@ArkiPlan.co.uk		Date	08.02.2023
		Sheet	23-0139 - D08 - REV 02
Site	44 South Moor Drive, Heacham PE31 7BW	Job	New Extension & Garage Conversion
		Scale	As Shown@A1
Title Number	-	Title	As Shown

# EXISTING

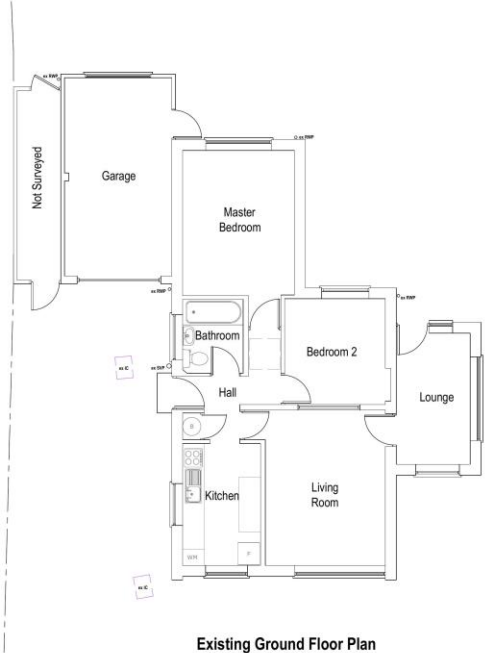


Existing First Floor Plan  
Scale 1:50


		74 Cardiff Road, CF15 7QE • Enquiries@ArkiPlan.co.uk	
		Date	08.02.2023
Site	44 South Moor Drive, Heacham PE31 7BW	Sheet	23-0139 - D04 - REV 02
		Job	New Extension & Garage Conversion
		Scale	As Shown@A1
Title Number	-	Title	As Shown



# EXISTING



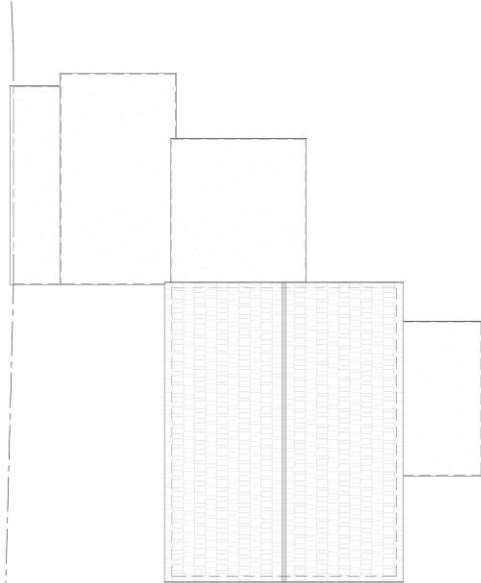
Existing Ground Floor Plan  
 Scale 1:50  
 Area ca. 85.59 m<sup>2</sup>

		74 Cardiff Road, CF15 7QE • Enquiries@ArkiPlan.co.uk	
		Date	08.02.2023
Site	44 South Moor Drive, Heacham PE31 7BW	Sheet	23-0139_D02_REV 02
		Job	New Extension & Garage Conversion
		Scale	As Shown@A1
Title Number	-	Title	As Shown






# EXISTING



Existing Roof Plan  
Scale 1:50

		74 Cardiff Road, CF15 7QE • Enquiries@ArkiPlan.co.uk	
		Date	08.02.2023
Site	44 South Moor Drive, Heacham PE31 7BW	Sheet	23-0139_D06_REV 02
	Title Number	Job	New Extension & Garage Conversion
		Scale	As Shown@A1
		Title	As Shown



Applied Materials:  
 Plaster Render (to match existing)  
 Flat roof: Ply membrane (to match existing)



Proposed Southwest Elevation



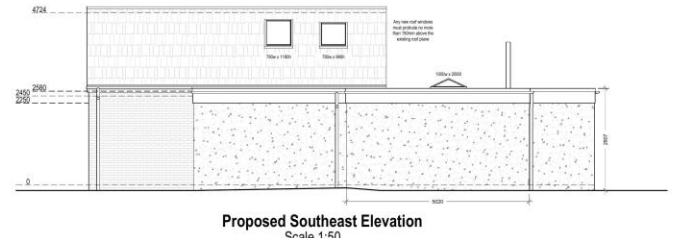
Proposed Northwest Elevation

Scale 1:50



Proposed Northeast Elevation

Scale 1:50



Proposed Southeast Elevation

Scale 1:50

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74 Cardiff Road, CF15 7QE • Enquiries@ArkiPlan.co.uk

Date	08.02.2023
Sheet	23-0139_D09_REV 02
Job	New Extension & Garage Conversion
Scale	As Shown@A1
Title Number	-
Title	As Shown



- Boundary line
- Details above
- Proposed foundation
- Waste drainage layout
- Rainwater drainage layout
- timber/steel beam above sized and specified by Structural Engineer - fire proofed as per spec. and detail drawing

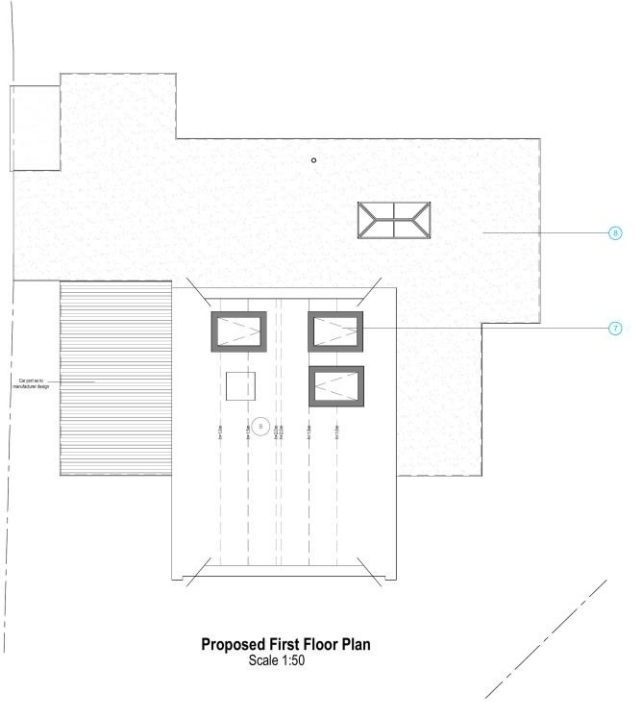
-  Mechanically ventilated
-  Mains operated interlinked heat detector
-  Escape door / window
-  Carbon Monoxide alarm

Proposed drainage layout is indicative only and has not been surveyed. Existing foul drainage layout to be surveyed by Contractor on site and exact layout and connections are to be agreed on site with BCO before any works commence. All pipes sizes and falls as per spec. and detail drawings.

**DRAWING NOTES**

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The Building Regulations 2010  
 Under the above regulations, any works to a building that fall within the requirements must be inspected by either the Local Authority Building Control Department or a person registered under the Competent Person Scheme. This includes independent qualified building inspection organisations. These drawings are intended only to obtain approval for Building Control applications by either the Local Authority Building Control Department or an independent building inspection company, and should not be used as working construction drawings. These drawings provide an indication only of the work required, and the current building standards that must be met at the minimum level. All works must be discussed on-site between the contractor(s) and the Inspector prior to being undertaken. All guidance and instructions from the Building Inspector must be strictly adhered to at all times.







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<b>Date</b>	08.02.2023
<b>Sheet</b>	23-0139_D05_REV 02
<b>Site</b>	44 South Moor Drive, Heacham PE31 7BW
<b>Job</b>	New Extension & Garage Conversion
<b>Scale</b>	As Shown@A1
<b>Title Number</b>	-
<b>Title</b>	As Shown





- Boundary line
- Details above
- Proposed foundation
- Waste drainage layout
- Rainwater drainage layout
- timbersteel beam above sized and specified by Structural Engineer - fire proofed as per spec. and detail drawing

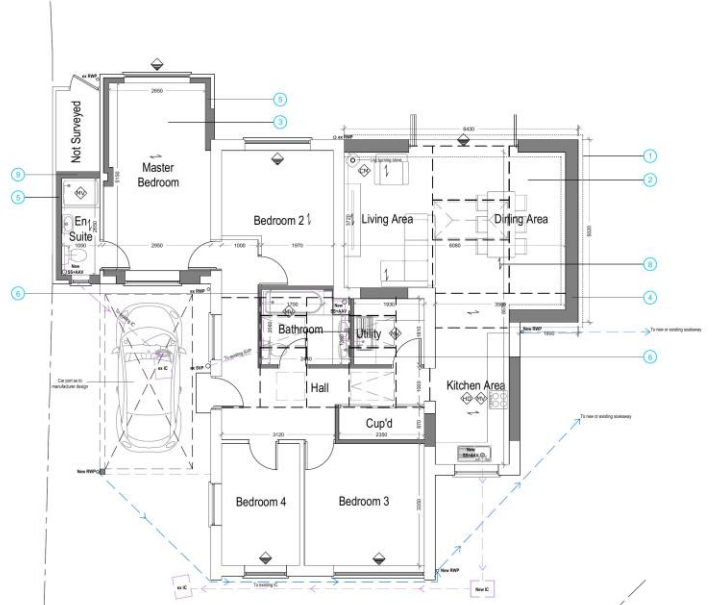
-  Mechanically ventilated
-  Mains operated interlinked heat detector
-  Escape door / window
-  Carbon Monoxide alarm

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**Proposed Ground Floor Plan**  
 Scale 1:50  
 Area ca. 112.67 m<sup>2</sup>  
 Additional area ca. 24.49 m<sup>2</sup>





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**Arkiplan**  
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Site	44 South Moor Drive, Heacham PE31 7BW	Date	08.02.2023
		Sheet	23-0139_D03_REV 02
Title Number	-	Job	New Extension & Garage Conversion
		Scale	As Shown@A1
		Title	As Shown



- Boundary line
- Details above
- Proposed foundation
- Waste drainage layout
- Rainwater drainage layout
- timber/steel beam above sized and specified by Structural Engineer - fire proofed as per spec. and detail drawing

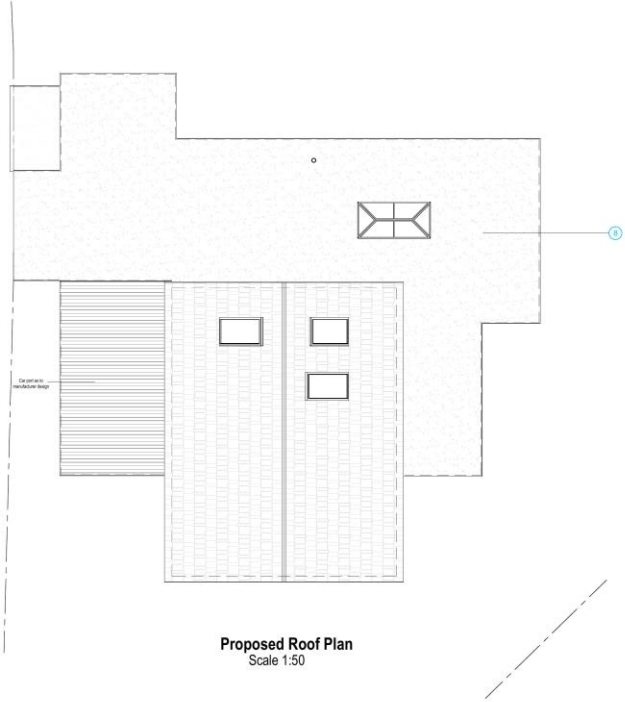
-  Mechanically ventilated
-  Mains operated interlinked heat detector
-  Escape door / window
-  Carbon Monoxide alarm

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Proposed Roof Plan  
 Scale 1:50

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74 Cardiff Road, CF15 7QE • Enquiries@ArkiPlan.co.uk

Site	44 South Moor Drive, Heacham PE31 7BW	Date	08.02.2023
		Sheet	23-0139 D07 REV 02
Title Number	-	Job	New Extension & Garage Conversion
		Scale	As Shown@A1
		Title	As Shown



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Do not scale from this drawing, not for construction purposes.

Date	Revision	Issue



Parking plan 1:100

# Parking Arrangements







Front of Dwelling and Driveway











Front driveway and garage



Existing Rear Elevation





View from rear garden to No. 44





View of No 46 Rear Garden



Boundary Between No 44 and No 46





View from No 46 Garden to No 44





View of Rear Garden



Boundary Between No 44 and No 42







Rear Boundary







View from Rear Garden

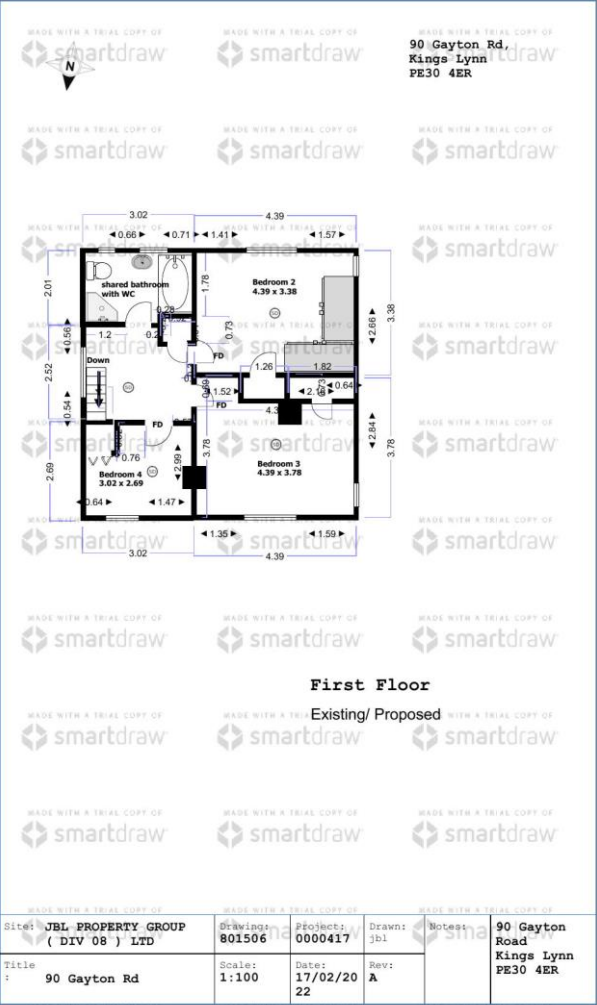
**22/00282/F**

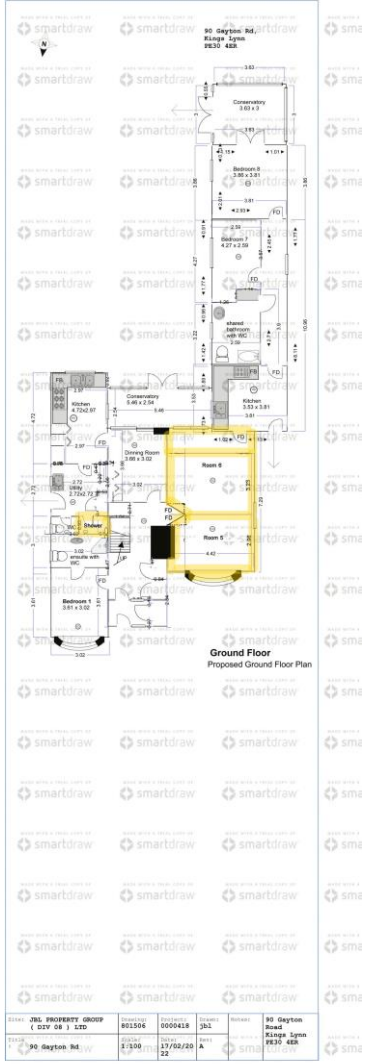


H.M. LAND REGISTRY		TITLE NUMBER	
		NWK 243038	
ORDNANCE SURVEY PLAN REFERENCE	TF 6420	SECTION C 0	Scale 1/1250
COUNTY NORFOLK	DISTRICT KINGS LYNN AND WEST NORFOLK		© Crown copyright 1979





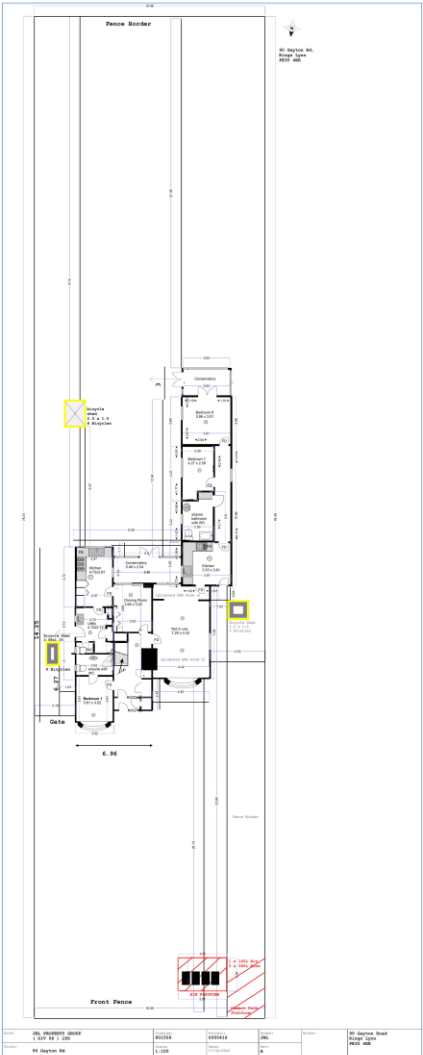




Ground Floor Proposed Ground Floor Plan



22/00282/F	JRL PROPERTY GROUP ( CIV 08 ) LTD	0000418	362	80 Seyton Road Kings Lynn PE30 4EG
12/02/20	12/02/20	22	A	



NO. 22/00282/F/002	22/00282/F	22/00282/F	22/00282/F	22/00282/F
11/09/2022	11/09/2022	11/09/2022	11/09/2022	11/09/2022
11/09/2022	11/09/2022	11/09/2022	11/09/2022	11/09/2022
11/09/2022	11/09/2022	11/09/2022	11/09/2022	11/09/2022













View looking north showing access, parking area and proposed bin storage location.





View looking south, showing shed and western boundary.





View looking north, showing shed and eastern boundary.







View looking north from the rear garden area.





View looking south showing rear garden area and shed.



View looking west from garden.



**23/00470/CU**







20 Woodside, King'S Lynn, PE30 4SD



© Crown copyright and database rights 2023 OS 100054135. Map area bounded by: 563962,319604 564104,319746. Produced on 20 March 2023 from the OS National Geographic Database. Supplied by UKPlanningMaps.com. Unique plan reference: p2cuk924387/1247430















Rear of the site facing north-west







**23/00361/F**



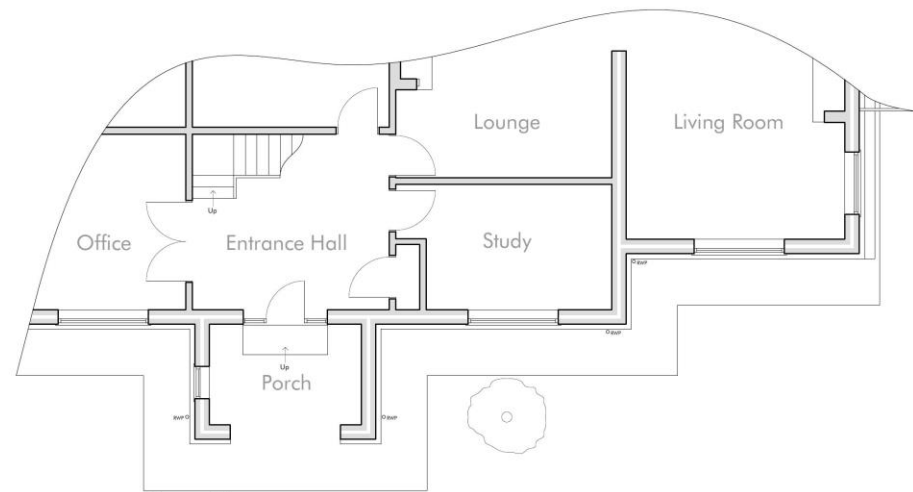
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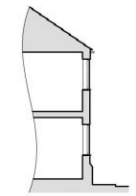
North Elevation (1:100)



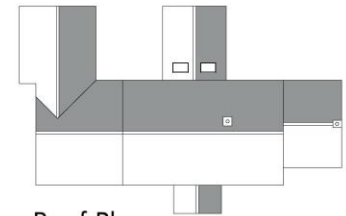
East Elevation (1:100)



Floor Plan (1:50)



Section (1:100)



Roof Plan (1:200)

**WAITE & Wallage**  
ARCHITECTS LTD.  
incorporating RICHARD C F WAITE ARCHITECTS

This drawing is subject to confirmation from further construction information. Any discrepancy found on drawing is to be notified to Architect immediately. All foundations to be verified in soil ground conditions & structural requirements after site investigation by others. No dimensions are to be relied upon for this drawing. All sizes in dimensions to be checked before construction. This drawing is copyright & may not be copied without consent.

Proposed extension at 2, Two Acres, Middleton, King's Lynn.	Paper Size: A2	PLANNING
Existing Plans	Drawn: DJPW	<b>3/440/1</b>
	Date: Feb. '23	

info@wwaltd.co.uk (01553) 772656 www.wwaltd.co.uk

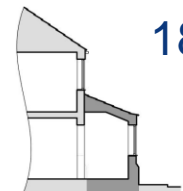




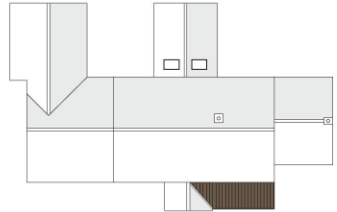
North Elevation (1:100)



East Elevation (1:100)



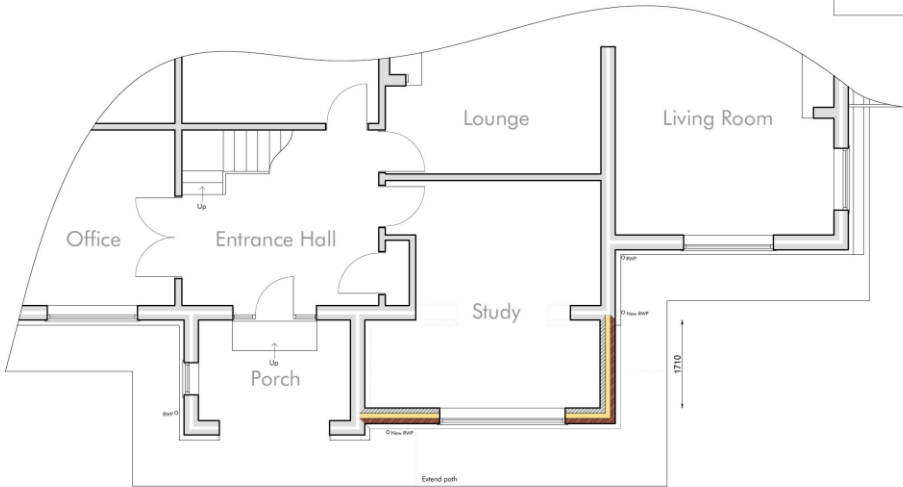
Section (1:100)



Roof Plan (1:200)



Location Plan (1:1250)



Floor Plan (1:50)



Site Plan (1:500)

PRELIMINARY DRAWING Subject to Planning & Building Control Approval

NB: Ground Levels to remain unaltered and as existing

**WAITE & Wallage**  
 ARCHITECTS LTD.  
 incorporating RICHARD C F WAITE ARCHITECTS

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Proposed extension at 2, Two Acres, Middleton, King's Lynn.	Paper Size: A2	PLANNING
Proposed Plans	Drawn: DJPW	3/440/2A
	Date: Feb '23	

info@vwalltd.co.uk (01553) 772656 www.vwalltd.co.uk







View looking south west at front elevation







View looking south east at front elevation





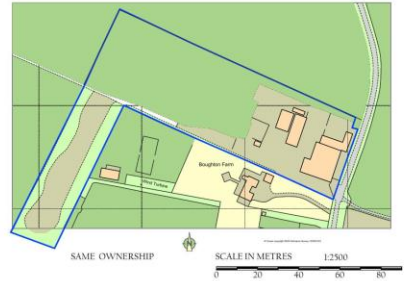






**23/00092/F**





Proposed  
Park area for containers

Area A

— SAME OWNERSHIP  
— SITE BOUNDARY

These Are Not Construction Drawings

This drawing should not be used, if it is the contractor and he/she contractor responsibility to check all dimensions and information on site before starting work.

All work to be carried out in accordance with current building regulations. This drawing is to be used in conjunction with structural engineers drawings. This drawing is copyright and must not be copied without consent.

Information on drawings other than planning drawings, construction method or site plan. Construction as indicated Building regulations as indicated. Drawn from site plan (P).

Planning drawings rely on information from third parties, information may not be up to date. For existing other buildings representation is made as a general guide. Dimensions are approximate.

For construction, Structural Engineer's Drawings will take precedence unless other changes are made and signed changes for existing construction.

For all work to existing structures take measurements on site.

IF IN DOUBT PLEASE ASK

**Peter Gidney**

West Hall Cottage-Gayton-Kings Lynn-PE32 1PD  
Telephone 01553 636994

Container Storage Area  
Stoke Ferry Timber Ltd  
Boughton Road  
Stoke Ferry  
Kings Lynn  
Norfolk  
PE33 6ST

Applicant  
Cullin Bond  
Stoke Ferry Timber Ltd  
Boughton Road  
Stoke Ferry  
Kings Lynn  
Norfolk  
PE33 6ST

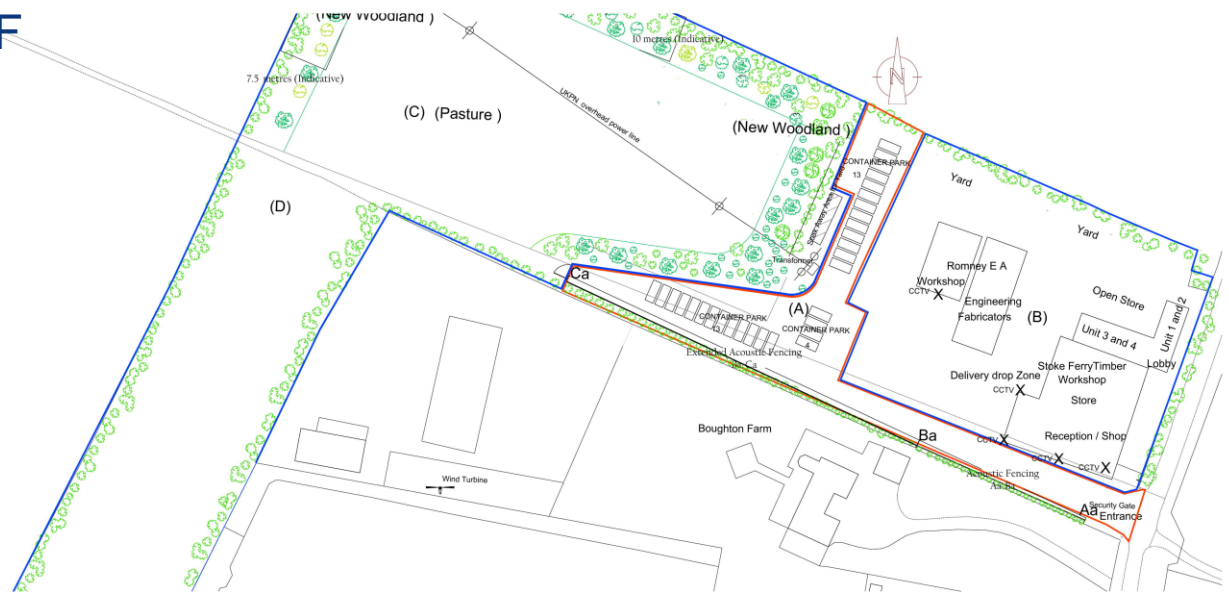
Application for a Storage Area A  
30 Container Storage Area  
LOCATION PLAN

Scales: 1:1250 Drawn By: PG  
1:2500 Calc

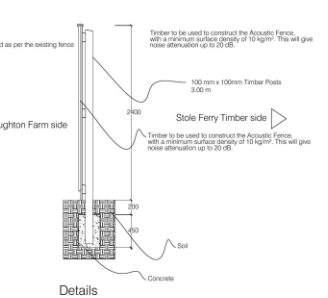
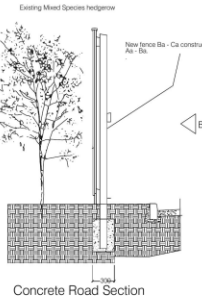
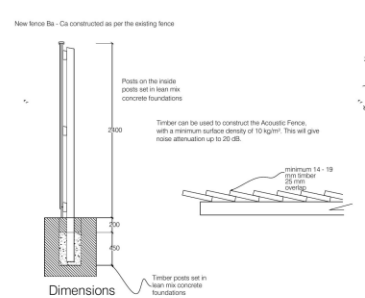
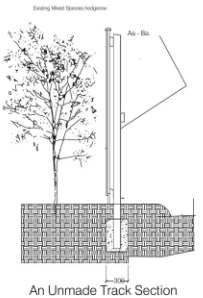
Date: 16/01/2023 Issued For: Planning

Dwg No. 01/ACB/02/2023 A1

One



<b>Additional Revisions</b>	
Extension of Acoustic Fencing	
Easement Boundary	
Existing Details	
<b>Previous Applications</b>	
Variation of Conditions of Planning Permission	
01/19/015/C/PLANNING	
Planning Authority: Norfolk County Council	
Applicant: Stoke Ferry Timber Ltd	
Project Name: Stoke Ferry Kings Lynn	
PE31 9HF	
Ref: 20/00092/F	
Received: Wed 20 Oct 2020	
Validated: Tue 24 Nov 2020	
Status: Application Permitted	
<b>Proposal</b>	
CCTV and Fluor extension	
No Change	
Area B	
Use Changey CLASS B2 and B8	
Change to Floor Beam woodburner,	
Flue height increased by 1.8 metres	
Clear wood only fence, acoustically treated or painted wood. Noise approved.	
Position: north of housing prevailing winds N-NE	
Moving away from neighbouring buildings.	
<b>Legend</b>	
SITE BOUNDARY	
This site has No Construction Potential	
<p>Acoustic Fencing</p> <p>Acoustic Fencing - 1.8m high</p> <p>Acoustic Fencing - 2.1m high</p> <p>Acoustic Fencing - 2.4m high</p> <p>Acoustic Fencing - 2.7m high</p> <p>Acoustic Fencing - 3.0m high</p> <p>Acoustic Fencing - 3.3m high</p> <p>Acoustic Fencing - 3.6m high</p> <p>Acoustic Fencing - 3.9m high</p> <p>Acoustic Fencing - 4.2m high</p> <p>Acoustic Fencing - 4.5m high</p> <p>Acoustic Fencing - 4.8m high</p> <p>Acoustic Fencing - 5.1m high</p> <p>Acoustic Fencing - 5.4m high</p> <p>Acoustic Fencing - 5.7m high</p> <p>Acoustic Fencing - 6.0m high</p> <p>Acoustic Fencing - 6.3m high</p> <p>Acoustic Fencing - 6.6m high</p> <p>Acoustic Fencing - 6.9m high</p> <p>Acoustic Fencing - 7.2m high</p> <p>Acoustic Fencing - 7.5m high</p> <p>Acoustic Fencing - 7.8m high</p> <p>Acoustic Fencing - 8.1m high</p> <p>Acoustic Fencing - 8.4m high</p> <p>Acoustic Fencing - 8.7m high</p> <p>Acoustic Fencing - 9.0m high</p> <p>Acoustic Fencing - 9.3m high</p> <p>Acoustic Fencing - 9.6m high</p> <p>Acoustic Fencing - 9.9m high</p> <p>Acoustic Fencing - 10.2m high</p> <p>Acoustic Fencing - 10.5m high</p> <p>Acoustic Fencing - 10.8m high</p> <p>Acoustic Fencing - 11.1m high</p> <p>Acoustic Fencing - 11.4m high</p> <p>Acoustic Fencing - 11.7m high</p> <p>Acoustic Fencing - 12.0m high</p> <p>Acoustic Fencing - 12.3m high</p> <p>Acoustic Fencing - 12.6m high</p> <p>Acoustic Fencing - 12.9m high</p> <p>Acoustic Fencing - 13.2m high</p> <p>Acoustic Fencing - 13.5m high</p> <p>Acoustic Fencing - 13.8m high</p> <p>Acoustic Fencing - 14.1m high</p> <p>Acoustic Fencing - 14.4m high</p> <p>Acoustic Fencing - 14.7m high</p> <p>Acoustic Fencing - 15.0m high</p> <p>Acoustic Fencing - 15.3m high</p> <p>Acoustic Fencing - 15.6m high</p> <p>Acoustic Fencing - 15.9m high</p> <p>Acoustic Fencing - 16.2m high</p> <p>Acoustic Fencing - 16.5m high</p> <p>Acoustic Fencing - 16.8m high</p> <p>Acoustic Fencing - 17.1m high</p> <p>Acoustic Fencing - 17.4m high</p> <p>Acoustic Fencing - 17.7m high</p> <p>Acoustic Fencing - 18.0m high</p> <p>Acoustic Fencing - 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**Peter Gidney**

West Hill Cottage Gosport Kings Lynn PE32 1PD Telephone: 01328 526994

**Contract Storage Area**

Stoke Ferry Timber  
Shedwood Road  
Stoke Ferry  
Kings Lynn  
Norfolk  
PE32 9HF

**Applicant**

Colin Broad  
Stoke Ferry Timber  
Boughton Road  
Stoke Ferry  
Kings Lynn  
Norfolk  
PE32 9HF

**Application for a Storage Area A  
of Contract Storage Area**

Extension to Acoustic Fencing  
Ba - Ca on plan  
Details

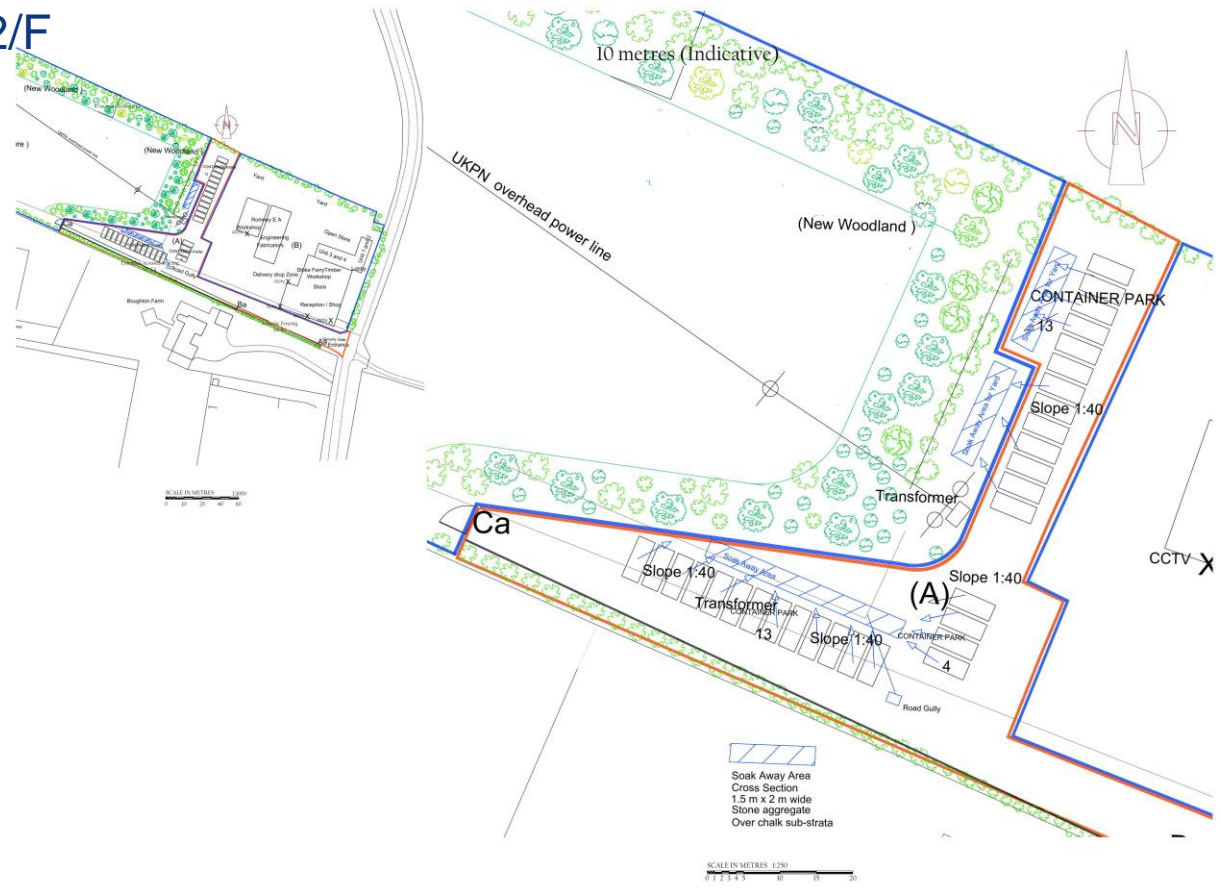
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1:25 Calc

Date: 06-06-2023 Issued For: Planning

Dwg No. 02/CB/15/2024 A1

Page 4





Additions/Revisions  
 Estimation of Access/Fencing  
 Eastern Boundary  
 Existing Details  
 Details of existing natural Soak-aways  
 Proposed details  
 Natural boundaries/over chalk sub-strata  
 Shaded 1:40 towards boundary areas  
 --- Site Ownership  
 --- Application Boundary  
 --- These Are Not Construction Drawings  
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 Telephone: 01336 430094

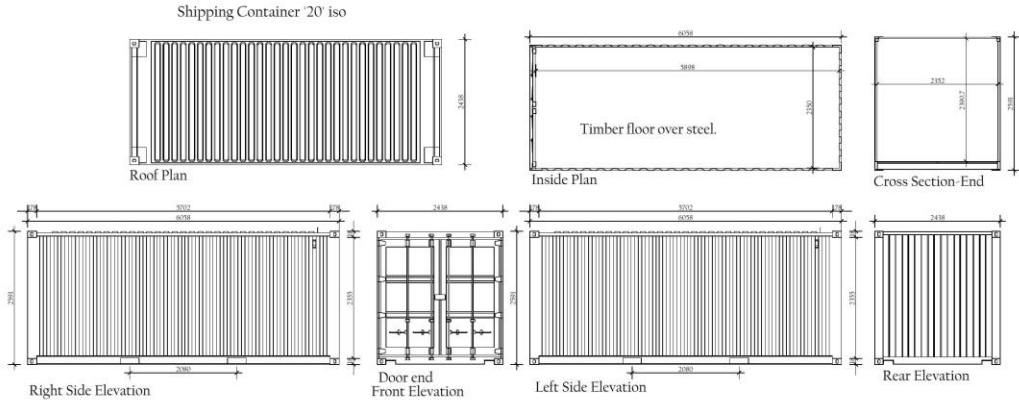
Container Storage Area  
 Skids For Timber  
 Brughan Road  
 Kings Lynn  
 Norfolk  
 PE33 1HF

Applicant  
 Cole Road  
 Skids For Timber  
 Brughan Road  
 Kings Lynn  
 Norfolk  
 PE33 1HF

Application for a Storage Area A  
 at Container Storage Area  
 (Details of Soak-away areas)

Scale: 1:200 Drawn By: PG  
 Date: 28-06-2023 Issued For: Planning

Date: 28-06-2023 Issued For: Planning  
 Dwg No: 054CB172023 A1



Container.

Proposed

Area A on Plan

Use, Change of use to Commercial Storage and Use Category

CLASSE

These Are Not Construction Drawings

The drawing should not be sealed. It is the contractor and the sub-contractors responsibility to check all dimensions and information on the before starting work.  
All work to be carried out in accordance with current building regulations.  
This drawing is for use in conjunction with structural engineers drawings. This drawing is copyright and must not be copied without consent.  
Tolerances for drawings other than planning drawings, construction method or material. Construction as indicated. Building regulation as indicated. Drawn lines unless otherwise stated.  
Planning drawings are an abbreviation from field plans, therefore very not be usually within 7%. For existing other buildings representation is made in a manner which does not distort the proportions.  
For construction, the contractor is advised to check the site, measure and make notes. Changes are made and agreed changes for enabling construction.  
For all work to existing structures take measurements on site.  
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Telephone: 01553 659994

Container Storage Area  
Stoke Ferry Timber  
Boughton Road  
Stoke Ferry  
Kings Lynn  
Norfolk  
PE33 9BF

Applicant  
Colin Bond  
Stoke Ferry Timber  
Boughton Road  
Stoke Ferry  
Kings Lynn  
Norfolk  
PE33 9BF

Elevations of 20 foot Shipping Container(s) on site  
:

Scales: 1:50 Drawn By: PG  
Calc: .

Date: 18/01/2023 Issued For: Planning

Dwg No. 03-CB-03-2023 A2

Three



View looking to the north west at access to Boughton Farm and Stoke Ferry Timber.







View looking west to access on to Stoke Ferry Timber.





View looking north west to Stoke Ferry Timber yard.







View looking northwest to existing containers and track.







View looking north west to existing storage containers, track, and shared boundary.





View looking south east to existing storage containers, track, and shared boundary.





View looking north west to siting of proposed storage containers.





**23/00125/CU**





——— SAME OWNERSHIP  
——— SITE BOUNDARY  
**These Are Not Construction Drawings**

This drawing should not be treated as the construction and site administration responsibility to check all dimensions and information on site before starting work.  
 All work to be carried out in accordance with current building regulations.  
 This drawing to be read in conjunction with relevant engineering drawings.  
 This drawing is copyright and must not be copied without consent.  
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 Planning drawings are for information from third parties, alterations may be made locally unless 'A' or 'B' drawing shall be binding, construction shall be a matter which shall remain the proposer's.  
 For construction, Structural Engineers Drawing will take precedence where hidden changes are made and agreed changes for existing construction.  
 For all work to existing structures view measurements on site.  
 IF IN DOUBT PLEASE ASK



West Hall Cottage-Gayton-Kings Lynn-PE32 1PD  
Telephone 01553 636994

Parking/ Storage / Commercial  
 Stoke Ferry Timber Ltd  
 Boughton Road  
 Stoke Ferry  
 Kings Lynn  
 Norfolk  
 PE33 9BF

Applicant	Collin Bond Stoke Ferry Timber Ltd Boughton Road Stoke Ferry Kings Lynn Norfolk PE33 9BF
Change of Use Application	Area D on Plan Existing Storage and Parking for Agricultural Use, Change of use to Commercial Storage and Parking. <b>LOCATION PLAN</b>
Scales:	1:1250 Drawn By: PG 1:2500 Scale:
Date:	16/01/2023 Issued For: Planning
Dwg No.:	01/CB/01/2023 A2







23/00125/CU

Slide  
No.  
204



View looking north west up the existing track.









View looking south west to storage area, and erected fence and gate.









**23/00265/CU**



ACCESS GATES TO NOT EXCEED 1.0M HEIGHT  
 PROPOSED NEW FENCING TO BE - MAX. 1.0M HIGH THROUGH HOSTS;  
 FENCE TO BE LOCATED MIN. 2.0M FROM HIGHWAY EDGE; GATES TO OPEN  
 INTO THE APPLICATION SITE, LOCATED MIN. 5.0M FROM HIGHWAY EDGE  
 PROVIDE 45° VISIBILITY SPLAYS AS SHOWN; ACCESS DRIVES TO BE  
 HARD SURFACED - E.G. CONC. OR TARMAC FOR THE FIRST 5.0M FROM THE  
 HIGHWAY EDGE, TO SLOPE INTO THE APPLICATION SITE TO ENSURE  
 THAT SURFACE WATER DOES NOT DRAIN ONTO THE HIGHWAY



Produced 07 Feb 2023 to the Ordnance Survey MasterMap  
 Topography. All other aerial imagery has been removed  
 as visible in this plan.

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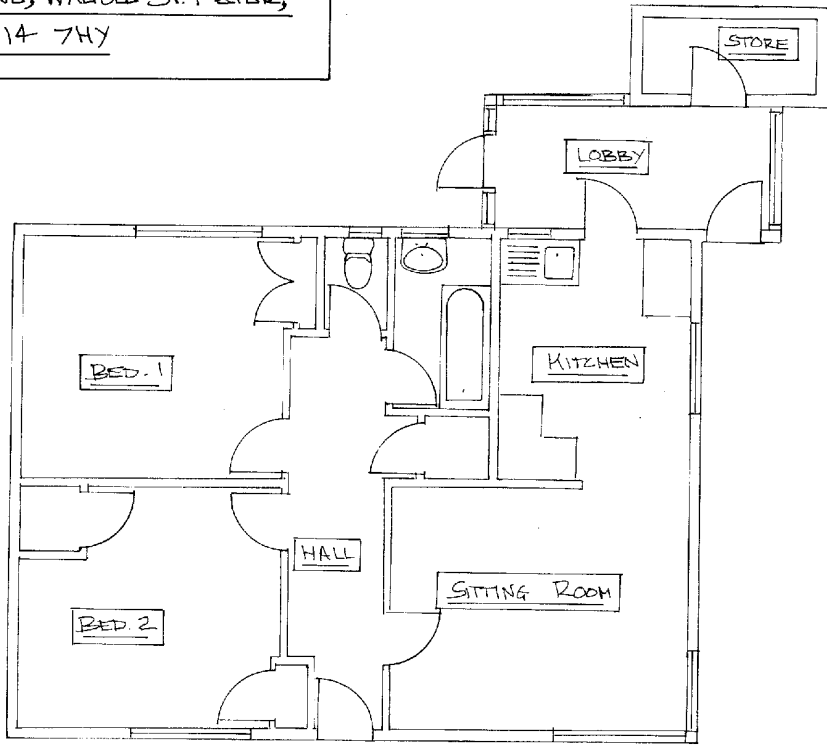


10, Felgate Ln, Watlington St Peter  
 PE14 7HF

Designed by Stanford 01 Feb 2023  
 Layout by Stanford 01 Feb 2023  
 J:\Projects\2323\05103015\CIP  
 PE14 7HF - 10, Felgate Ln - 10, Felgate Ln  
 Control Number: 2323/05103015



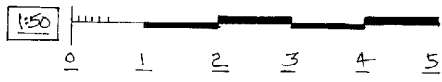
10, FOLGATE LANE, WALPOLE ST. PETER,  
NORFOLK, PE 14 7HY



DEVELOPMENT SERVICE  
RECEIVED  
21 FEB 2023

RECEIVED  
21 FEB 2023  
A. ENGLISH  
REG. PLANNING

FLOOR PLAN 1:50







Application site – prefabricated dwelling





Fencing and gates to be removed





Access gates to be removed /relocated and lowered.





Prefabricated 2x bedroom dwelling





Rear garden







Rear elevation and neighbour to east beyond fence





2/TPO/00647











# Speakers Slide

## Frank Hultschig



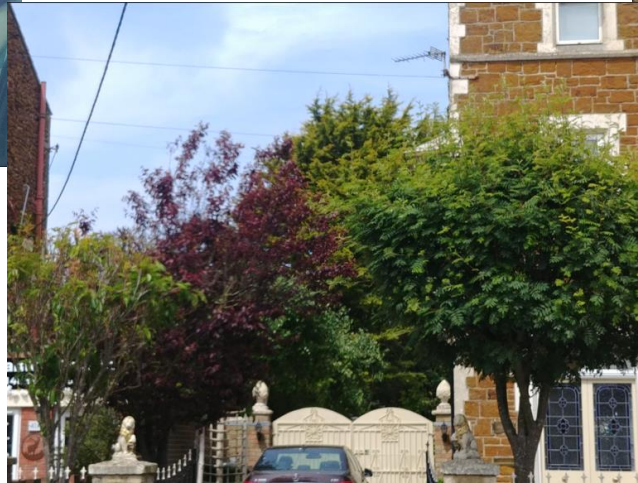
# Objection to TPO/00647

Frank AF Hultschig

1 June 2023







1. The two trees are not native species and displace native wildlife.
2. The two trees are not valuable specimens in their own right.
3. The trees do not add amenity value for the immediate surrounding area and do not contribute to the wider Landscape of the locale. If anything, the opposite is true. These trees are highly unsightly and unattractive. Their appearance deteriorated further when their owner had a tree surgeon create a gap between them; this resulted in the disfiguration of their natural form.
4. Pigeons nest in the trees.
5. The roots of the two trees are likely to interfere with nearby sewage drains.
6. The trees are growing even further and are creating a light and wave barrier:
  - a. Our conservatory does no longer benefit from the full sun it used to get.
  - b. Our garden has become more shaded since these trees have grown further over the last years. The linen takes longer to dry.
  - c. The television reception has deteriorated.
7. It is not possible to rule out the risk that a severe storm may result in one or both trees falling over or branches being broken off. Should this happen it is likely that our conservatory and / or house will get damaged.



1. Why was a further TPO issued, when previously a decision was made that these trees are not worthy of a TPO?
2. Why is the Council spending tax payer's money on issuing a third TPO for trees which were previously described by a Council official "as no longer worthy of a TPO"?
3. Why is the Council's administration including the correspondence riddled with administrative errors? The response to a Freedom of Information Request regarding Site visit on the 7 December 2022 states: "The site notes and details of the agreement reached with Mr Richard Fisher, Arboricultural officer. - Mr Fisher left the organisation in November 2022, therefore I am unable to provide this data". This statement undermines any remaining confidence in the Council's Environment and Planning department further."
4. Why did my neighbour, Richard Payne, not receive a letter alerting him of the pending Planning Committee Meeting on the 5 June 2023?
5. Why does the Council not follow its own complaints procedure?





Reference of Tree Preservation Order	Tree Species	Reason	Objection Deadline	Update Received	Update - Content
2/TPO/00603 – <b>22 Sept 2020</b>  On cover letter:  2/TPO/00603 – <b>18 Sept 2020</b>	<b>Macrocarpa</b>	The mature tree species provides high amenity . . .	16 October 2020	27 May 2021	Order not confirmed. However, cover letter confusing and contradictory
2/TPO/00606 – 5 May 2021	<b>Macrocarpa</b>	The mature tree species provides high amenity . . .	4 June 2021	22 June 2021	e-mail response from Richard Fisher: “this TPO is null and void”.
TPO at Greevegate referencing Sept TPO	Not stated	“trees are on balance no longer worthy of a TPO”	n/a	21 May 2021  e-mail to Richard Payne from Stuart Ashworth	Stuart Ashworth: “after further discussions and following a further detailed inspection of the trees on site, he (Council’s Arboricultural officer) <b>is now of the opinion that the trees are on balance no longer worthy of a TPO.</b>
2/TPO/00647 - 14 December 2022	<b>Cupressus x leylandii</b>	Visual amenity value impaired by ‘excessive pruning’	11 January 2023	<b>29 October 2021</b>  Letter stamp date: 25 May 2023	Planning Committee meeting on 5 June 2023
2/TPO/00647 - Complaint	n/a	n/a	n/a	3 Feb. 2023 email from Lesley Raby, Technical Support Officer	Your Complaint has been lodged and passed to the Assistant Director for Environment and Planning, who will endeavour to respond within 15 working days, in accordance with our Corporate Complaints Policy
2/TPO/00647 - Complaint	n/a	n/a	n/a	24 April 2023 email to <a href="mailto:borough.planning@west-norfolk.gov.uk">borough.planning@west-norfolk.gov.uk</a>	Reminder sent: No response to objections; no response to complaint.



# END OF PRESENTATION

