

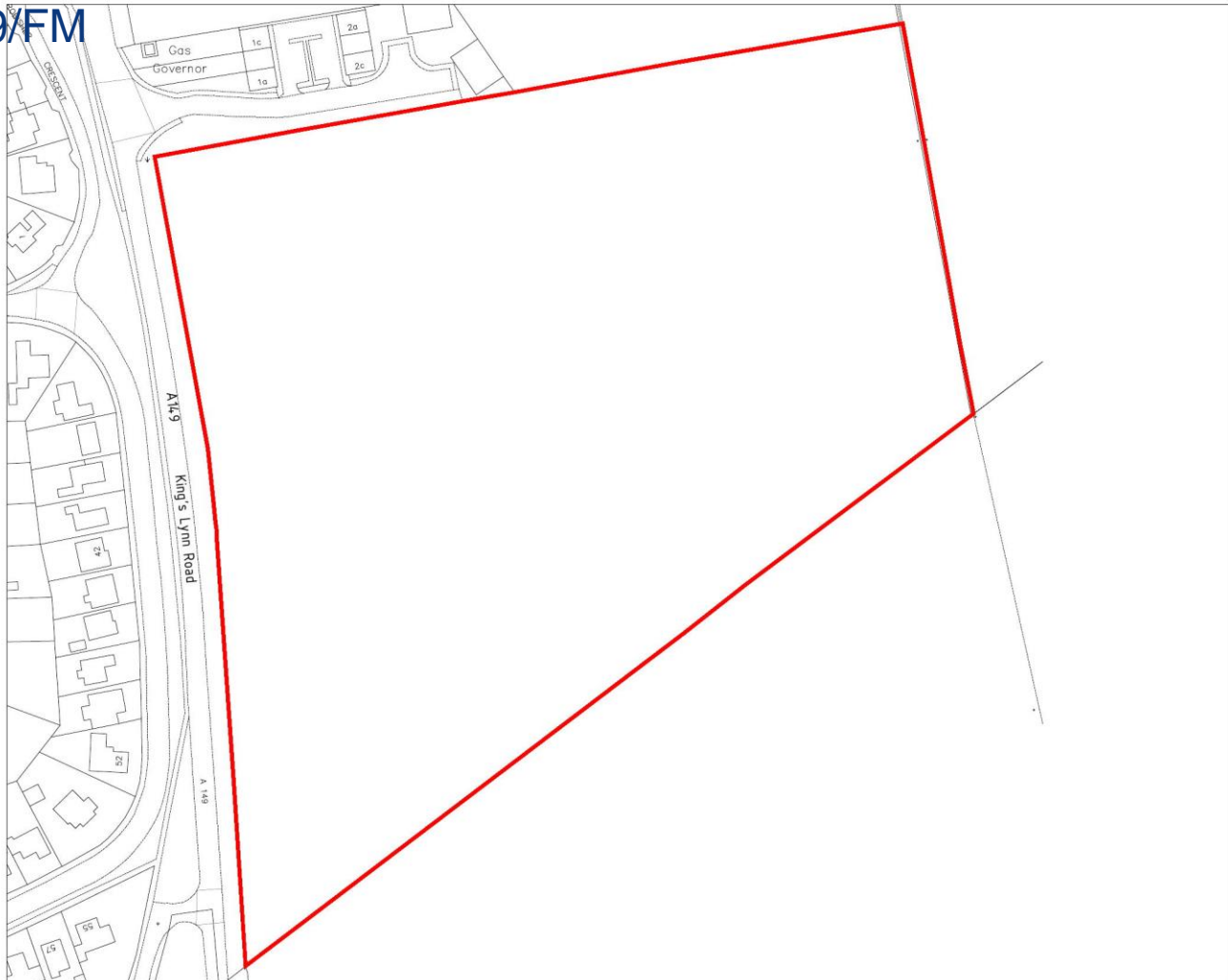
# Planning Committee

## 24 April 2023



**22/00929/FM**





This drawing is produced as a plan and may not be used for any other purpose than the specific requirements of the drawing. It is the responsibility of the client to ensure that this drawing is used for the purpose for which it was intended in connection with this project as recorded on the title block and the Change Code and Revision. It also issued in digital format, the data within this file may not be used for any purpose other than the information present on the paper copy of the document.

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SCALE 1:1250 NORTH

0 12.5 25 37.5 50

**Notes**

- Red line boundary taken from title plan references W237910 and W237913 issued by client

REV	DATE	DESCRIPTION
P1	30/03/22	Issued for planning

**DRAWING USE**  
**PLANNING**

**CLIENT**  
 LOVELL HOMES LTD

**PROJECT**  
 RESIDENTIAL DEVELOPMENT

**ADDRESS**  
 KING'S LYNN ROAD, HUNSTANTON

**STATUS**  
 A3-DEVELOPED DESIGN APPROVED

**DRAWING TITLE** SIZE  
 Site Location Plan A3

**DRAWING NO.** REVISION  
 KLHU-CF-ZZ-XX-DR-A-0500 P1

**CREATED** **CHECKED** **APPROVED**  
 KC WMC WMC

11 Vauxhall Road,  
 Norwich  
 NR7 7EP  
 01603 789999  
 01603 789999@angol.com

Job No.  
 6357

Mark  
 Cambridge and Winchester  
[www.chaplinfarrant.com](http://www.chaplinfarrant.com)









- SLC
- Like high class boarded timber fence with concrete posts
- Like high class boarded timber fence with concrete posts with 0.3m height to top
- Like high class timber brick walls topped with fibre creosote and large finished brick course
- No high post and wire fencing
- No high line fix railings (black)
- 500mm timber lines not located
- Like high railing
- 2m high, 100mm thick brick walls

The following is provided as an overview of the proposed development. It is not intended to be used for any other purpose. The design is for planning purposes only. It is not intended to be used for any other purpose. It is not intended to be used for any other purpose.

Scale: 1:500

North arrow pointing up.

NOTES:

REVISION NO	DATE	DESCRIPTION
R1	20/03/22	Final Issue
R2	30/05/22	Revised drawing
R3	13/06/22	Updated to suit revised site plan
R4	17/07/22	Final A1, No. 100, 100, 100, 100
R5	24/12/22	Parking spaces amended for plans 06, 07, 08, 09
R6	10/05/23	Amendments to suit revised layout and address (plant comments)
R7	14/05/23	Amendments to suit revised layout and address (plant comments)

DRAWING USE:  
 PLANNING  
 CLIENT:  
 LOVELL HOMES LTD

PROJECT:  
 RESIDENTIAL DEVELOPMENT  
 ADDRESS:  
 KING'S LYNN ROAD, HUNSTANTON


STATUS:  
 A3-DEVELOPED DESIGN APPROVED



DRAWING TITLE: PROPOSED BOUNDARIES PLAN

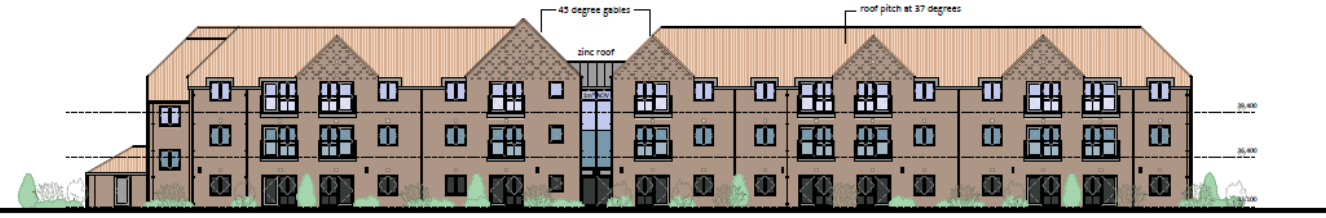
DRAWING NO: KLHU-CF-ZZ-XX-DR-A-0507  
 CREATED BY: WS  
 CHECKED BY: WMC  
 APPROVED BY: WMC

DATE: 14/05/23  
 OF JOB NO: 6357



- MATERIALS**
-  profiled roof tile
  -  red/ brown multi brick
  -  patterned brick to gables
  -  vents (final positions to be confirmed)
  -  lights (final positions to be confirmed)

-  RAL 7012 grey fascias, rainwater goods, windows and balcony fascias
-  toughened glass and aluminium balcony assembly



Borough Council of  
King's Lynn  
West Norfolk

**LANGTRY-LANGTON**  
ARCHITECTS

1. 01693 880200  
2. 01693 880201  
3. info@langtry-langton.co.uk

1. 01693 880200  
2. 01693 880201  
3. info@langtry-langton.co.uk

All work to be carried out in accordance with the requirements of the Building Regulations and the Water Authority Regulations currently in force.

Drawings from this working are valid to the extent of any alterations.

We do not accept liability for any errors or omissions on drawings or specifications unless they are specifically stated on the drawings or specifications.

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NO.	DATE	REVISION	APPROVED BY	STATUS
01	10/01/22	Issue for planning		Final
02	10/01/22	Revised drawings to include planning conditions		Final
03	10/01/22	Revised drawings to include planning conditions		Final
04	10/01/22	Revised drawings to include planning conditions		Final



**LATER LIVING**  
by **LOVELL**

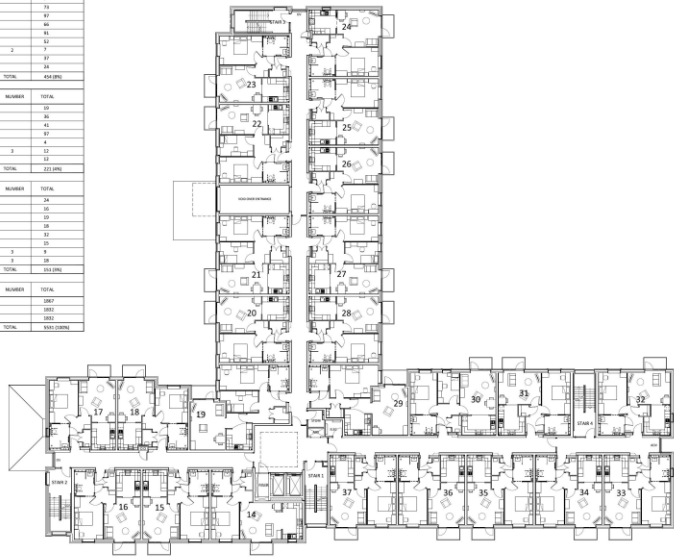
PROJECT: HOUSING WITH CARE APARTMENTS  
KINGS LYNN ROAD, HUNSTANTON  
for  
LOVELL LATER LIVING  
ARCHITECTS  
ELEVATIONS  
BUILDING ONLY

PROJECT	DRAWING	REVISION
22001	EC-V-05	C
DATE	PLANNING	DRAWN
SCALE	1:500	SITE 1:100
DRAWN	HAL	HAL



GROUND FLOOR PLAN

AREA SCHEDULE			
<b>RESIDENT ACCOMMODATION</b>			
RESIDENT ACCOMMODATION	AREA	NUMBERS	TOTAL
SEAP APARTMENT	E	163	163
	F	16	179
	G	1	180
	H	1	181
	I	1	182
	TOTAL	352	352
SEAP APARTMENT	E	10	10
	F	1	11
	G	1	12
	H	1	13
	TOTAL	13	13
<b>TOTAL RESIDENT ACCOMMODATION</b>			
	AREA	NUMBERS	TOTAL
<b>COMMERCIAL ACCOMMODATION</b>			
COMMERCIAL ACCOMMODATION	AREA	NUMBERS	TOTAL
SHOP		1	1
STORE & WAREHOUSE (SEE)		1	2
CAFE		1	3
ACTIVITY HALL/READING		1	4
LOUNGE		1	5
BEAUTY STORE		1	6
ACCESSIBLE WC		2	8
RECREATION ROOM		1	9
SECOND FLOOR LOUNGE		1	10
	TOTAL	10	10
<b>SHOP &amp; RECREATION ACCOMMODATION</b>			
SHOP & RECREATION ACCOMMODATION	AREA	NUMBERS	TOTAL
SHOP & RECREATION ACCOMMODATION		10	10
CARE OFFICE (SEE PLAN)		1	11
RECEPTION (SEE PLAN)		1	12
OFFICE (SEE PLAN)		1	13
LAUNDRY		1	14
CLEANING		1	15
CENTRAL STORE		1	16
	TOTAL	16	16
<b>SERVICES AND SUPPORT</b>			
SERVICES AND SUPPORT	AREA	NUMBERS	TOTAL
SERVICE STORE		1	17
TOWN ROOM		1	18
STAIRWAY		1	19
METER ROOM		1	20
STAFF ROOM		1	21
STORAGE ROOM		1	22
RECEPTION		1	23
OFFICE (SEE PLAN)		1	24
OFFICE (SEE PLAN)		1	25
	TOTAL	16	16
<b>BUILDING</b>			
BUILDING	AREA	NUMBERS	TOTAL
GROUND FLOOR PLAN		1	1
FIRST FLOOR PLAN		1	2
SECOND FLOOR PLAN		1	3
	TOTAL	3	3



FIRST FLOOR PLAN



Borough Council of  
King's Lynn &  
West Norfolk

**LANGTRY-LANGTON ARCHITECTS**  
11 Old Mill  
Bramford  
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NG32 6JH  
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www.langtry-langton.co.uk

All work to be carried out in accordance with the requirements of the Building Regulations and the Water Authority Regulations currently in force.  
Do not scale from this drawing. Architect to be notified of any discrepancies.  
Verify required dimensions on site before commencing work or preparing final drawings.  
This drawing is copyright.

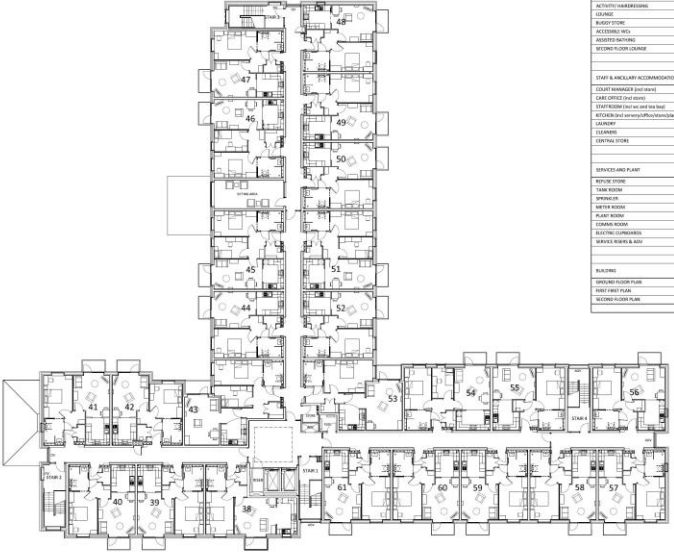
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2	14/12/18	RL	Approved for building regulations submission	RL
3	14/12/18	RL	Approved for planning submission	RL
4	14/12/18	RL	Approved for building regulations submission	RL
5	14/12/18	RL	Approved for planning submission	RL
6	14/12/18	RL	Approved for building regulations submission	RL
7	14/12/18	RL	Approved for planning submission	RL
8	14/12/18	RL	Approved for building regulations submission	RL
9	14/12/18	RL	Approved for planning submission	RL
10	14/12/18	RL	Approved for building regulations submission	RL
11	14/12/18	RL	Approved for planning submission	RL
12	14/12/18	RL	Approved for building regulations submission	RL
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27	14/12/18	RL	Approved for planning submission	RL
28	14/12/18	RL	Approved for building regulations submission	RL
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31	14/12/18	RL	Approved for planning submission	RL
32	14/12/18	RL	Approved for building regulations submission	RL

NO	DATE	REV	DESCRIPTION
1	14/12/18	RL	Approved for planning submission
2	14/12/18	RL	Approved for building regulations submission
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12	14/12/18	RL	Approved for building regulations submission
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25	14/12/18	RL	Approved for planning submission
26	14/12/18	RL	Approved for building regulations submission
27	14/12/18	RL	Approved for planning submission
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29	14/12/18	RL	Approved for planning submission
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31	14/12/18	RL	Approved for planning submission
32	14/12/18	RL	Approved for building regulations submission



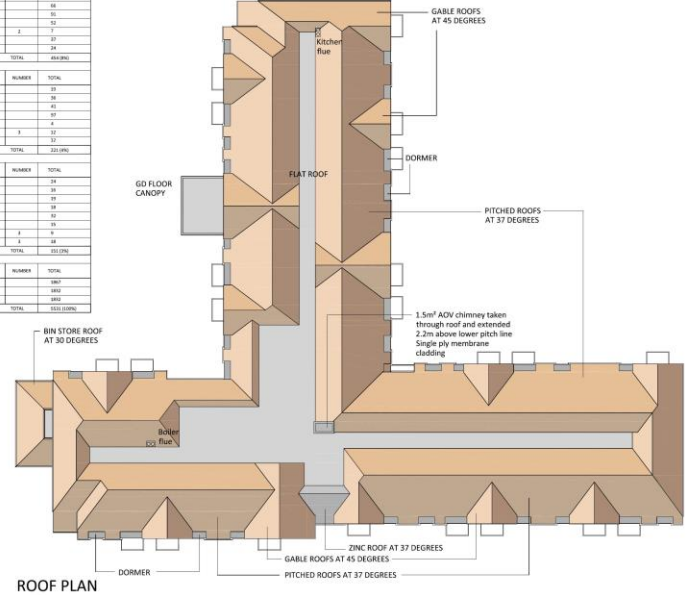
PROJECT: HOUSING WITH CARE APARTMENTS KINGS LYNN ROAD, HUNSTANTON  
for LOVELL LATER LIVING  
DRAWN BY: PLANNING  
CHECKED BY: DROD  
SCALE: 1:500 DATE: 09/20 DRAWN





SECOND FLOOR PLAN

AREA SCHEDULE			
RESIDENTS ACCOMMODATION	AREA	NUMBER	TOTAL
SELF APPOINTMENT	A	363	363
	B	363	363
	C	60	60
	D	51	51
	E	50	50
TOTAL		534	534
JOB APPOINTMENT	F	41	41
	G	70	70
	H	70	70
TOTAL		181	181
TOTAL RESIDENTS ACCOMMODATION 715 (3615 SQM)			
EDUCATIONAL ACCOMMODATION			
CLASS	AREA	NUMBER	TOTAL
WORKSHOP			1
LABORATORY			53
CLASS			60
ACTIVITY ROOM			50
LIBRARY			51
MEETING ROOM			51
ACCESSES			1
RECEPTION			24
SECOND FLOOR LOBBY			24
TOTAL			496 (2016)
STAFF & AUXILIARY ACCOMMODATION			
LOBBY	AREA	NUMBER	TOTAL
LOBBY			10
STAFF ROOM			24
STAFF ROOM (FOR USE BY THE HOSE)			41
STAFF ROOM (FOR USE BY THE HOSE)			24
JANITORY			4
TOILETS			10
TOILETS			10
TOTAL			123 (510)
SERVICES AND PLANT			
MECHANICAL	AREA	NUMBER	TOTAL
TANK ROOM			24
WORKSHOP			53
MECH ROOM			50
PLANT ROOM			51
TOTAL			278 (1185)
BOILER ROOMS & STORE			4
TOTAL			282 (1203)
BUILDING			
GENERAL ROOMS	AREA	NUMBER	TOTAL
STAIR			10
STAIR			10
STAIR			10
TOTAL			30



ROOF PLAN

REV	DATE	DRAWN	AMENDMENT	CHKD
A	14/03/22	PL	Architectural approval issues corrected	
B	14/03/22	PL	Roof Plan finalised	
C	14/03/22	PL	Area schedule issues	
D	14/03/22	PL	Approved drawings submitted	
E	14/03/22	PL	Approved drawings submitted	
F	14/03/22	PL	Approved drawings submitted	
G	14/03/22	PL	Approved drawings submitted	

REV	DATE	DRAWN	AMENDMENT	CHKD
01	14/03/22	PL	Final 2D Roof Plan approved	



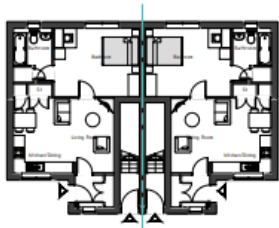


Front Elevation

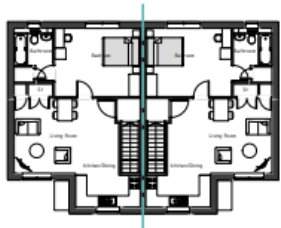
Side Elevation

Rear Elevation

Side Elevation



Ground Floor Plan



First Floor Plan



22/00929/FM

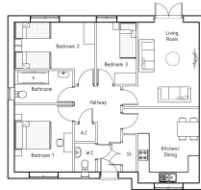


Front Elevation

Side Elevation

Rear Elevation

Side Elevation



NOTES  
This drawing contains the following:  
#



REVISIONS LOG  
REV. DATE DESCRIPTION  
P1 28/03/23 First Issue

DRAWING USE  
PLANNING

CLIENT  
LOVELL HOMES LTD

PROJECT  
RESIDENTIAL DEVELOPMENT

ADDRESS  
KING'S LYNN ROAD, HUNSTANTON

STATUS  
A3-DEVELOPED DESIGN APPROVED

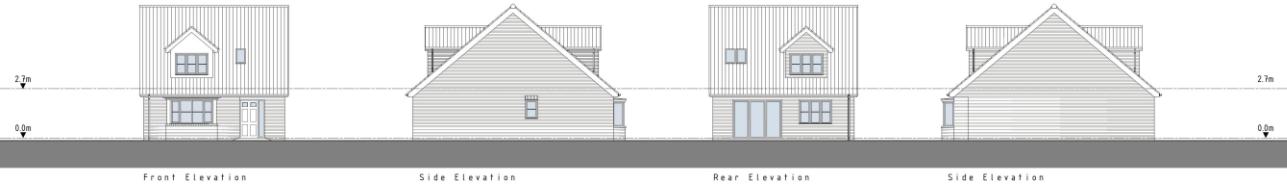
DRAWING TITLE SIZE  
AFFORDABLE BUNGALOW PLANS A1  
& ELEVATIONS

DRAWING NO. REVISION  
KLHJ-CF-ZZ-XX-DR-A-0562 P4

CREATED BY CHECKED BY APPROVED BY  
JM DIG DIG

U:\Projects\Book of Job No. OF JOB NO.  
6357

22/00929/FM



Front Elevation

Side Elevation

Rear Elevation

Side Elevation



Ground Floor Plan



First Floor Plan

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NOTES  
This drawing contains the following:

REVISION NO	DESCRIPTION
REV 1	DATE
P1	10/01/22
P2	20/01/22
P3	30/01/22
P4	10/02/22
P5	20/02/22

DRAWING USE  
PLANNING  
CLIENT  
LOVELL HOMES LTD  
PROJECT  
RESIDENTIAL DEVELOPMENT  
ADDRESS  
KING'S LYNN ROAD, HUNSTANTON  
STATUS  
A3-DEVELOPED DESIGN APPROVED

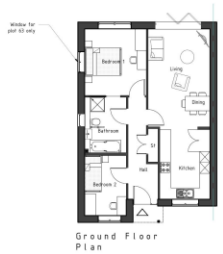
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TYPE ASTON BUNGALOW PLANS & ELEVATIONS	A1	
DRAWING NO.	REVISION	
KLHU-CF-ZZ-XX-DR-A-0541	P4	
CREATED BY	CHECKED BY	APPROVED BY
WS	KC	W/MC

By Network Plan  
Date  
Version  
Project Name  
Project Location  
Project Manager

22/00929/FM



Front Elevation      Side Elevation      Rear Elevation      Side Elevation



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SCALE 1:100

0 1 2 3 4 5 6m

NOTES  
This drawing contains the following:

REVISION NO	DESCRIPTION
REV: DATE	DESCRIPTION
P1 10/03/22	Final Issue
P2 10/03/22	Minor amendments added to glazing and floor slab elevations
P3 10/03/22	Issued for planning
P4 10/03/22	1st revision issued
P5 10/03/22	Plot specific window added

DRAWING USE  
PLANNING

CLIENT  
LOVELL HOMES LTD

PROJECT  
RESIDENTIAL DEVELOPMENT

ADDRESS  
KING'S LYNN ROAD, HUNSTANTON

STATUS  
A3-DEVELOPED DESIGN APPROVED

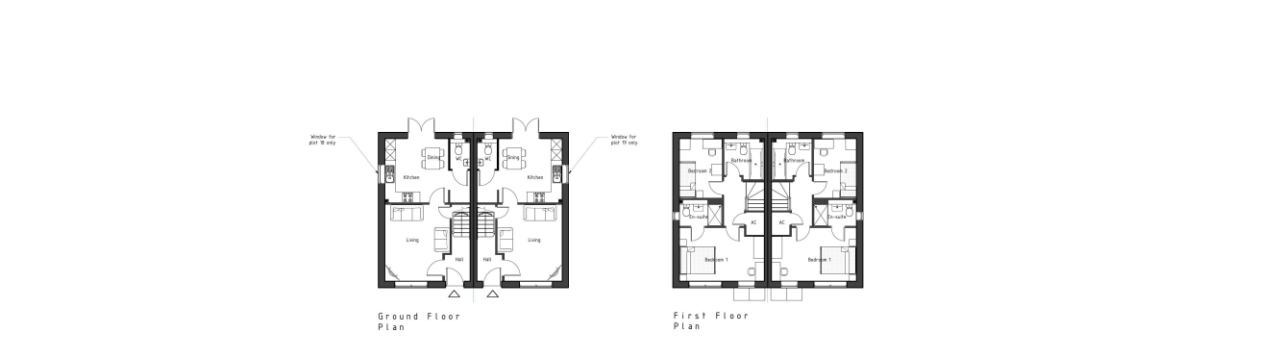
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TYPE MORGAN BUNGALOW PLANS & ELEVATIONS	A1	
DRAWING NO.	REVISION	
KLHU-CF-ZZ-XX-DR-A-0540	P5	
CREATED BY	CHECKED BY	APPROVED BY
WS	KC	WMC

By: [Signature]  
Date: [Date]  
Title: [Title]  
Company: [Company Name]

By: [Signature]  
Date: [Date]  
Title: [Title]  
Company: [Company Name]

By: [Signature]  
Date: [Date]  
Title: [Title]  
Company: [Company Name]

22/00929/FM



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SCALE 1:100

0 1 2 3 4 5 6

NOTES

This drawing contains the following:

1

REVISION LOG

REV.	DATE	DESCRIPTION
P1	10/03/22	First Issue
P2	30/03/22	Revised floor plan
P3	30/03/22	Floor plan finalized
P4	14/03/23	Plan amended to include address

DRAWING USE

PLANNING

CLIENT

LOVELL HOMES LTD

PROJECT

RESIDENTIAL DEVELOPMENT

ADDRESS

KING'S LYNN ROAD, HUNSTANTON

STATUS

A3-DEVELOPED DESIGN APPROVED

DRAWING TITLE	SIZE
TYPE 789 PLANS & ELEVATIONS	A1

DRAWING NO.	REVISION
KLHU-CF-ZZ-XX-DR-A-0551	P4

CREATED BY	CHECKED BY	APPROVED BY
WS	KC	W/MC

By: [Signature] Date: [Date]

Scale: 1:100

Sheet: 6357

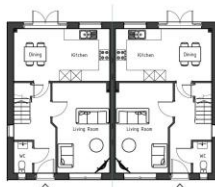


Front Elevation

Side Elevation

Rear Elevation

Side Elevation



Ground Floor Plan



First Floor Plan

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NOTES:  
This drawing contains the following:

REVISION NO.	DATE	DESCRIPTION
R1	20/02/22	First Issue
R2	20/02/22	Revised floor plan
R3	20/02/22	Revised floor plan
R4	20/02/22	Floor plan amended

DRAWING USE:  
PLANNING  
CLIENT:  
LOVELL HOMES LTD  
PROJECT:  
RESIDENTIAL DEVELOPMENT  
ADDRESS:  
KING'S LYNN ROAD, HUNSTANTON

STATUS:  
A3-DEVELOPED DESIGN APPROVED

DRAWING TITLE: TYPE 897 PLANS & ELEVATIONS  
SIZE: A1

DRAWING NO.: KLHU-CF-ZZ-XX-DR-A-0553  
REVISION: R4  
CREATED BY: KC  
CHECKED BY: WMC  
APPROVED BY: WMC

1:1 Scale: Plan  
Scale: 1:100  
OF JOB NO.: 6357

22/00929/FM



Front Elevation      Side Elevation      Rear Elevation      Side Elevation



Ground Floor Plan



First Floor Plan

This drawing is provided as an advisory service only and is not intended to be used for any other purpose. The client is responsible for ensuring that the drawing is used in accordance with the project's requirements. The client is responsible for ensuring that the drawing is used in accordance with the project's requirements. The client is responsible for ensuring that the drawing is used in accordance with the project's requirements.

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SCALE 1:100

NOTES  
This drawing contains the following:

REVISION NO.	REV. DATE	DESCRIPTION
P1	20/02/22	First Issue
P2	22/02/22	Area added
P3	20/02/22	Issue for planning
P4	02/02/22	Plot no. reference amended

DRAWING USE  
PLANNING

CLIENT  
LOVELL HOMES LTD

PROJECT  
RESIDENTIAL DEVELOPMENT

ADDRESS  
KING'S LYNN ROAD, HUNSTANTON

STATUS  
A3-DEVELOPED DESIGN APPROVED

DRAWING TITLE	SIZE
TYPE 1015 VERSION 1 PLANS & ELEVATIONS	A1

DRAWING NO.	REVISION
KLHU-CF-ZZ-XX-DR-A-0556	P4

CREATED BY	CHECKED BY	APPROVED BY
KC	WMC	WMC

11, The Grove Road,  
Norwich,  
NR6 3LW  
www.chaplinfarrant.com

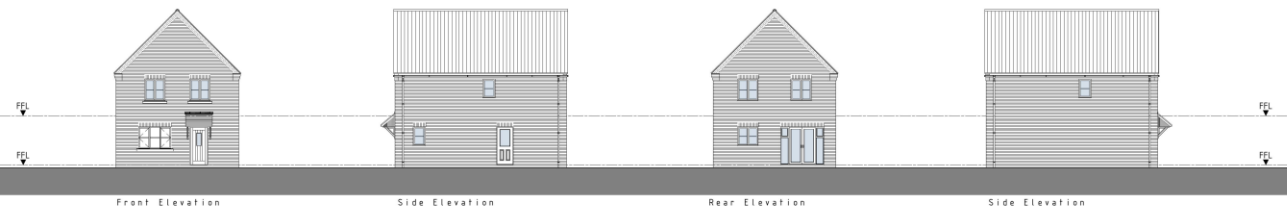
01603 250000  
01603 250001

CF JOB NO.  
6357



HOUSE TYPE 1135 . 4B/6P HOUSE . 105sqm . 1135sqft

22/00929/FM



REVISION NO	DESCRIPTION
REV DATE	
P1 24/03/23	First Issue

DRAWING USE	SIZE
PLANNING	A1
CLIENT	
LOVELL HOMES LTD	
PROJECT	
RESIDENTIAL DEVELOPMENT	
ADDRESS	
KING'S LYNN ROAD, HUNSTANTON	

STATUS	
A3-DEVELOPED DESIGN APPROVED	

DRAWING TITLE	REVISION
TYPE 1135 PLANS AND ELEVATIONS	P1
DRAWING NO	
KLHU-CF-ZZ-XX-DR-A-0563	
CREATED BY	APPROVED BY
JM	DIG

By Technical Panel	CF JOB NO.
Issue No	6357
Issue Date	
Issue Description	
Issue By	
Issue Date	

Residential Development · King's Lynn Road · Hunstanton

22/00929/FM



Front Elevation

Side Elevation

Rear Elevation

Side Elevation



Ground Floor Plan



First Floor Plan

This drawing is provided as an illustration only and is not to be used for any other purpose. The design is subject to change without notice. The client is responsible for ensuring that the design complies with all applicable regulations and standards. The design is provided as an illustration only and is not to be used for any other purpose. The design is subject to change without notice. The client is responsible for ensuring that the design complies with all applicable regulations and standards.

NOTES  
This drawing contains the following:

REVISION NO	REV. DATE	DESCRIPTION
P1	30/03/22	First Issue
P2	30/03/22	Floor area added
P3	30/03/22	Car space elevation added. Plans and elevation updated accordingly
P4	30/03/22	Window opening
P5	30/03/22	Car space variation omitted

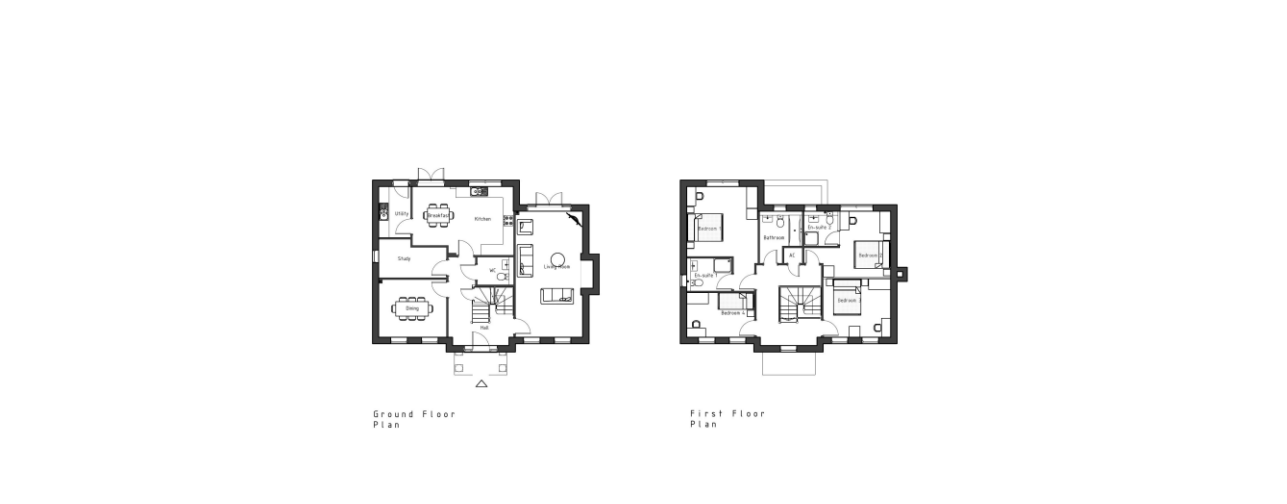
DRAWING USE  
PLANNING  
CLIENT  
LOVELL HOMES LTD  
PROJECT  
RESIDENTIAL DEVELOPMENT  
ADDRESS  
KING'S LYNN ROAD, HUNSTANTON  
STATUS  
A3-DEVELOPED DESIGN APPROVED

DRAWING TITLE	SIZE
TYPE 1659 PLANS & ELEVATIONS	A1

ENGINEER NO.	REVISION
KLHU-CF-ZZ-XX-DR-A-0560	P5

CREATED BY	CHECKED BY	APPROVED BY
KC	WMC	WMC

By: [Signature] Date: 07/08/2022  
Job No: 6357



This drawing is prepared and checked for compliance with the Building Regulations and for other purposes. The design is for the proposed development and is not intended for any other purpose. The design is for the proposed development and is not intended for any other purpose. The design is for the proposed development and is not intended for any other purpose.

Client: Lovell Homes Ltd. Date: 10/01/2022. Scale: 1:100. Drawing No: KLHU-CF-ZZ-XX-DR-A-0561.

NOTES  
This drawing contains the following:  
1

REVISION NO.	DATE	DESCRIPTION
P1	10/01/22	First Issue
P2	10/01/22	Final Revised
P3	20/01/22	Final Approved
P4	30/01/22	Issued for planning

DRAWING USE  
PLANNING  
CLIENT  
LOVELL HOMES LTD  
PROJECT  
RESIDENTIAL DEVELOPMENT  
ADDRESS  
KING'S LYNN ROAD, HUNSTANTON  
STATUS  
A3-DEVELOPED DESIGN APPROVED

DRAWING TITLE	SIZE
TYPE1876HOUSEPLANS&ELEVATIONS	A1

DRAWING NO.	REVISION
KLHU-CF-ZZ-XX-DR-A-0561	P4

CREATED BY	CHECKED BY	APPROVED BY
KC	WMC	WMC

11, The Grove Road, Hunstanton, Norfolk, PE26 2AA  
Tel: 01492 532323  
Email: info@chaplinfarrant.com  
Website: www.chaplinfarrant.com

CF JOB NO.  
6357

File Name: 22-00929-FM.dwg, Plot No: 22-00929-FM, Plot Date: 10/01/2022, Plot Title: TYPE1876HOUSEPLANS&ELEVATIONS, Plot Path: C:\Users\james\Documents\22-00929-FM.dwg, Plot Size: A1, Plot Scale: 1:100, Plot Orientation: Landscape

GARAGES SHEET 01

22/00929/FM

**Single Garage**  
(External 3 x 6m)

**Single Garage**  
(External 3 x 6m)

**Double Garage**  
(External 6 x 6m)

**Single Garage**  
(External 3 x 6m)  
**Double Garage**  
(External 6 x 6m)

This drawing is prepared on the basis of the information provided to the architect. The architect is not responsible for any errors or omissions in the information provided. The architect is not responsible for any errors or omissions in the information provided. The architect is not responsible for any errors or omissions in the information provided.

0 1 2 3 4 5 6m  
SCALE 1:100

REVISION NO.	DATE	DESCRIPTION
P1	30/03/22	Issued for planning

DRAWING USE  
PLANNING

CLIENT  
LOVELL HOMES LTD

PROJECT  
RESIDENTIAL DEVELOPMENT

ADDRESS  
KING'S LYNN ROAD, HUNSTANTON

STATUS  
A3-DEVELOPED DESIGN APPROVED

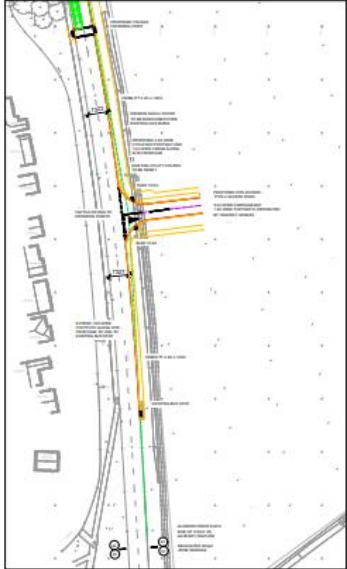
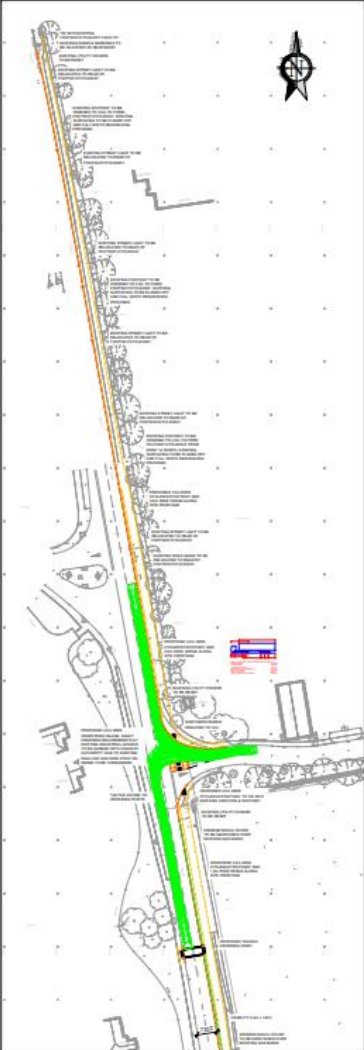
DRAWING TITLE	SIZE
PROPOSED GARAGES SHEET 1	A1

DRAWING NO.	REVISION
KLHU-CF-ZZ-XX-DR-A-0565	P1

CREATED BY	CHECKED BY	APPROVED BY
WS	KC	W/MC

11, The Grove Road,  
Hunstanton  
Norfolk  
NG25 9JG  
01493 810000  
www.chaplinfarrant.com

CF JOB NO.  
6357



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 AND MUST NOT BE USED AS A CONSTRUCTION DRAWING  
 IT INDICATES THE MAIN WORK ONLY AND IS SUBJECT TO  
 SUBSEQUENT SURVEYAL DESIGN DEVELOPMENT

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR TENDERS	12/11/21	...	...
2	...	...	...	...
3	...	...	...	...
4	...	...	...	...
5	...	...	...	...
6	...	...	...	...
7	...	...	...	...
8	...	...	...	...
9	...	...	...	...
10	...	...	...	...

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**LOVELL PARTNERSHIPS LTD**  
 LAKESIDE 500, BRIDLAND BUSINESS PARK  
 BRIDLAND, NORWICH, NORFOLK, NR1 1JL  
 01603 781100  
 www.lovellpartnerships.co.uk

**PRELIMINARY ACCESS ARRANGEMENT & S278 WORKS**

NO.	REV.	DATE	BY	CHKD.
1	ISSUED FOR TENDERS	12/11/21	...	...

10 INFORMATION  
 DRAWING NO: 22/00929/FM  
 211222 C-001 P59



22/00929/FM



View looking north

22/00929/FM



View looking north

22/00929/FM



View from western edge of site looking north (commercial park can be seen)



22/00929/FM



View from western edge of site looking northeast

22/00929/FM



View from western edge of site looking southeast

22/00929/FM



Commercial Park

22/00929/FM



Commercial Park looking north towards Smithdon



View from Commercial Park from northern edge of site looking southwest



View from Commercial Park from northern edge of site looking south

22/00929/FM

Slide No. 31



View from northern edge of site looking south / southwest

22/00929/FM



View from northern edge of site looking south / southeast



22/00929/FM



View from northern edge of site looking west

22/00929/FM



View from entrance of commercial park looking south

22/00929/FM



View from entrance of commercial park looking north



View from opposite side of the road showing Smithdon High School Playing Fields and Site in context

22/00929/FM



VIEW FROM THE NORTH



VIEW FROM THE SOUTH

22/00929/FM



Montage from Commercial Park

22/00929/FM



EXISTING VIEW



PROPOSED VIEW



Montage from Smithdon High School

PROPOSED VIEW (+ 5 years approx tree growth)



CAMERA POSITION & FIELD OF VIEW

22/00929/FM

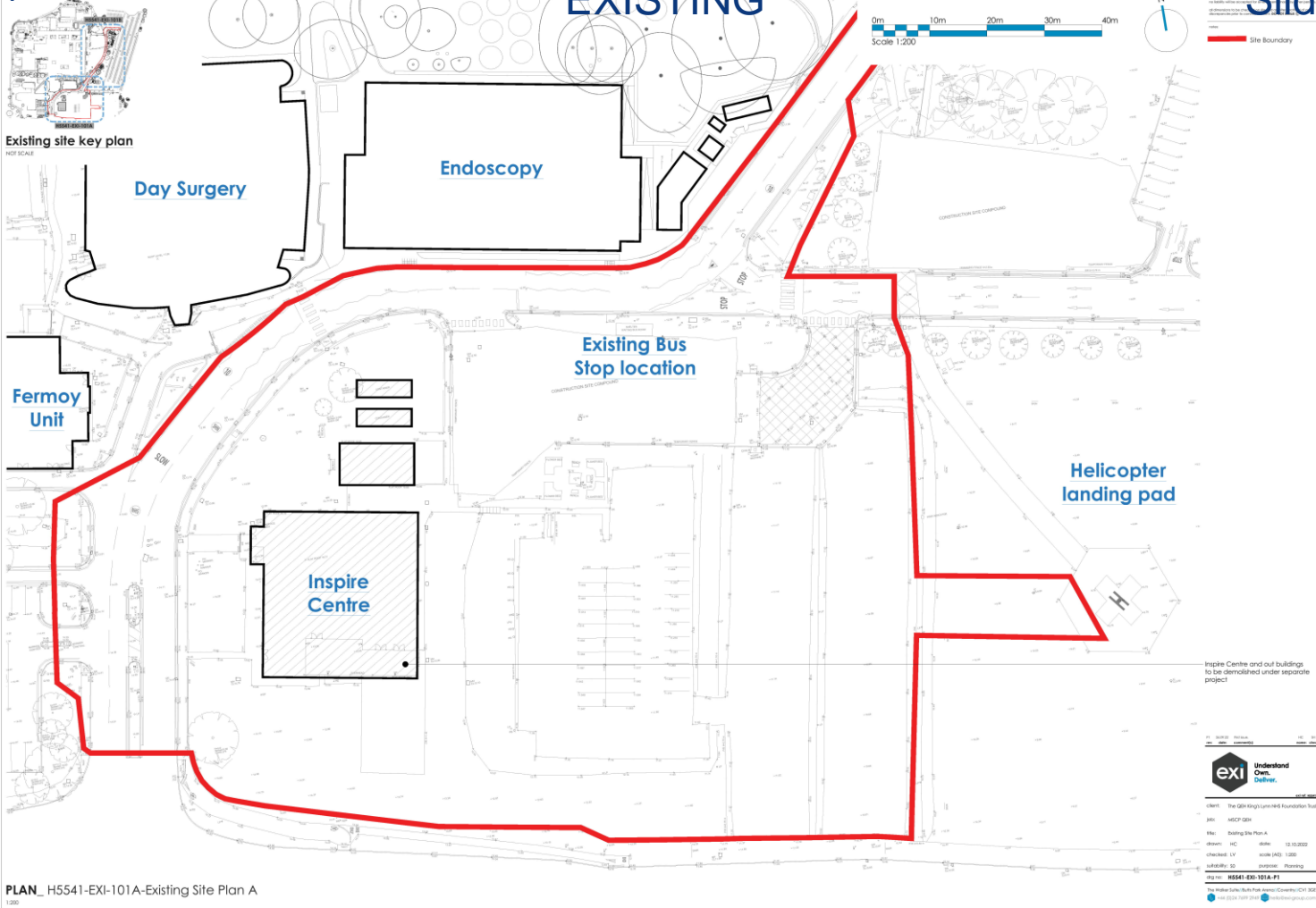


View from Smithdon High School

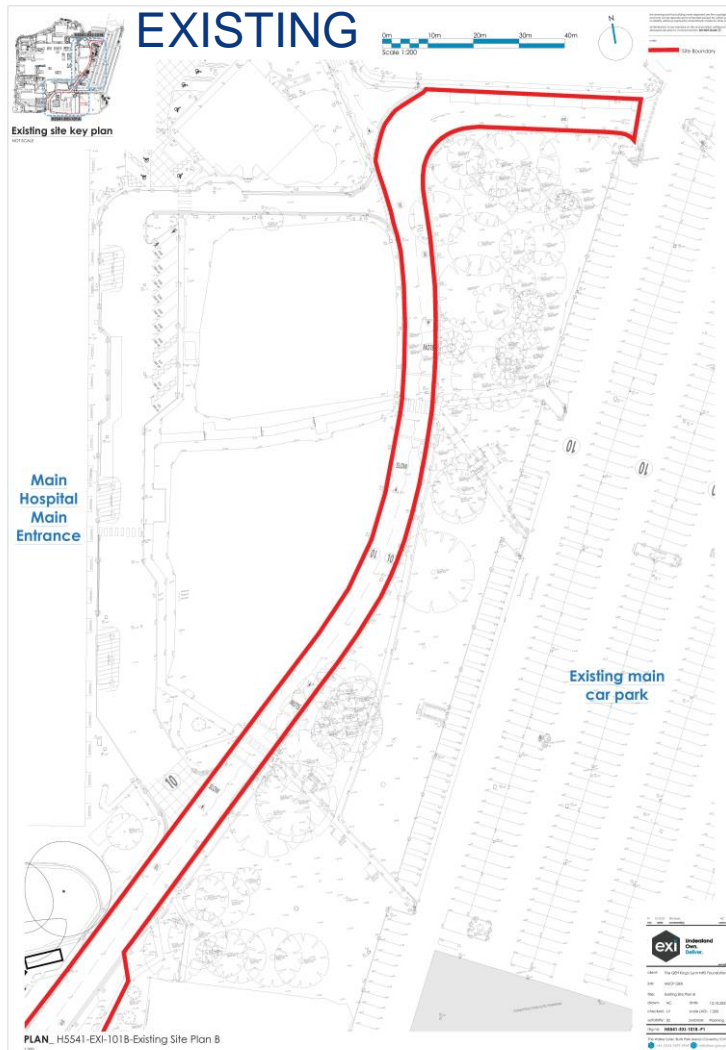


**22/01947/FM**





# EXISTING





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notes:

- Land ownership boundary
- Site development boundary

PS	12/10/22	Validated the following comments	HC	LV
PS	16/10/22	Validated the following comments	HC	LV
PS	16/10/22	Final issue	HC	LV
rev	date	comment(s)	raise	check



client: The Queen Elizabeth Hospital King's Lynn NHS Foundation Trust

job: MSCP GEH

title: Location Plan

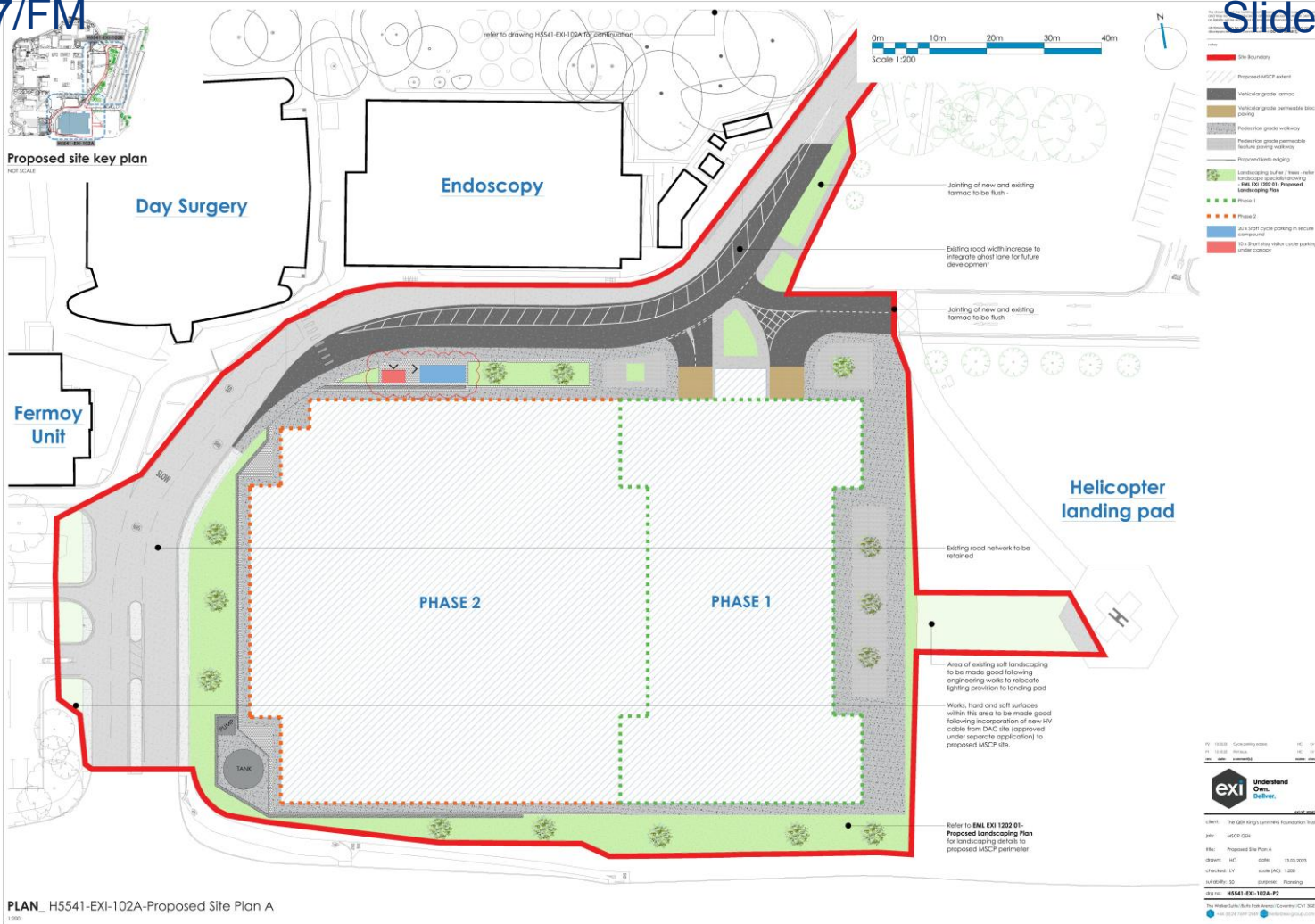
drawn: HC date: 12/10/2022

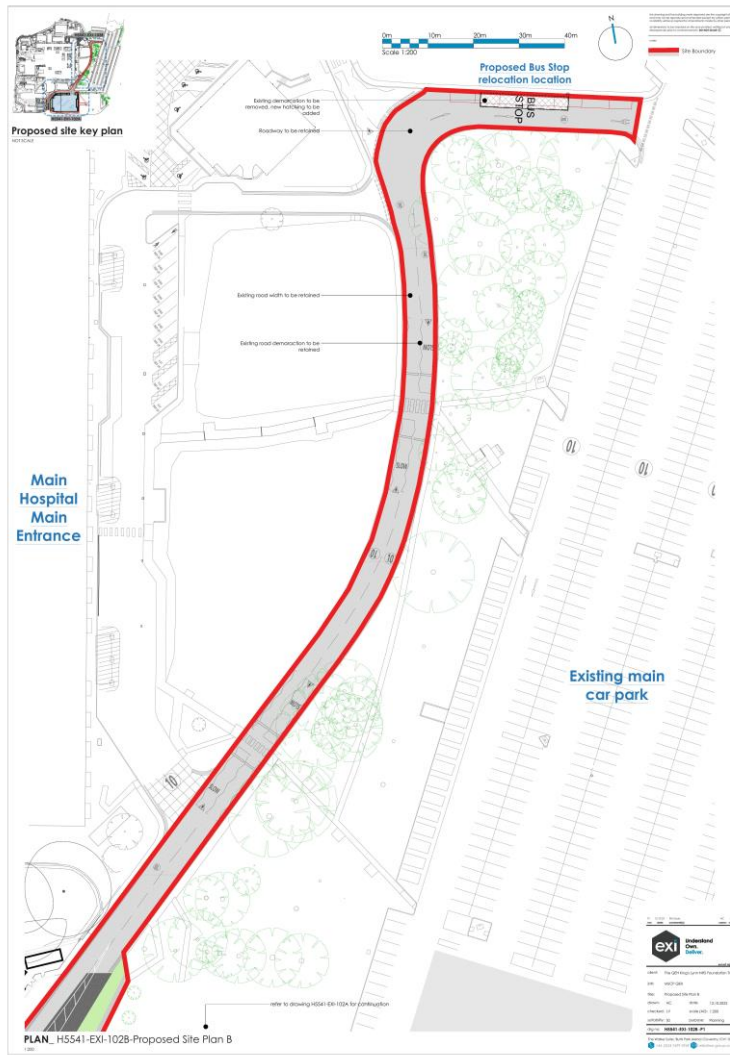
checked: LV scale (A1): 1:1250

sub/ability: SD purpose: Planning

doc no: **H5541-EXI-100-F3**

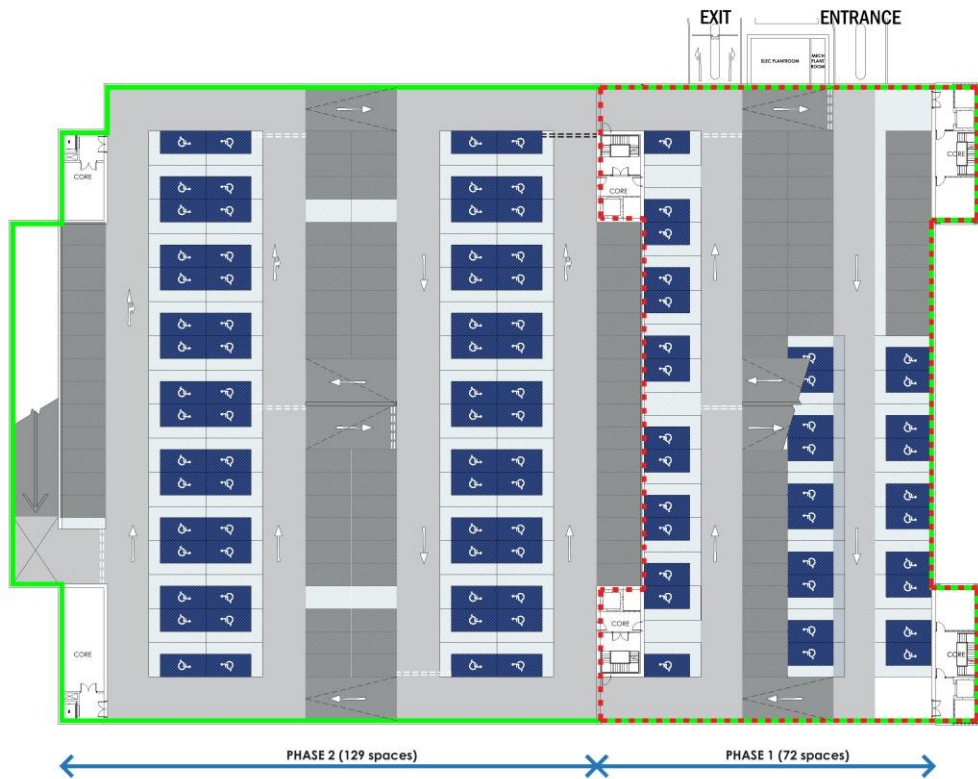
The Wicker Suite, Built Park Avenue, Coventry, CV1 3JL  
 +44 (0)24 7699 2948 | info@exi-group.com







# Ground Floor = 201 Spaces



PLAN\_ Ground Floor Layout  
1:200

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note:

Level	Phase 1		Phase 2		Total		
	Ambulant	Disabled	Ambulant	Disabled			
0	38	34	0	65	44	0	201
1	86	0	0	150	0	0	236
2	86	0	0	150	0	0	236
3	86	0	0	150	0	0	236
4	86	0	0	150	0	0	236
5	84	0	0	154	0	0	238
<b>Total</b>	<b>500</b>	<b>84</b>	<b>0</b>	<b>609</b>	<b>0</b>	<b>0</b>	<b>1383</b>

**SCHEDULE - Parking Schedule**

- Parking space types**
- Ambulant parking space
  - Disabled parking space
  - Walkway areas
- Phases**
- Phase 1 = 2483.7m<sup>2</sup>
  - Phase 1&2 = 4958.0m<sup>2</sup>

rev.	date	comment(s)	name	check
P1	14/03/24	EV charging bay removed and replaced with ambulant parking bay	AI	LV
P1	12/12/23	Rev. & drawing name updated.	HC	LV
P1	26/09/23	First issue	HC	LV

**exi** Understand Own. Deliver.

client: The GBH King's Lynn NHS Foundation Trust

job: MSCP-GBH

title: Proposed Context GF Plan

drawn: AI date: 14/03/2023

checked: LV scale (A1): 1:200

submittal: 50 purpose: Planning

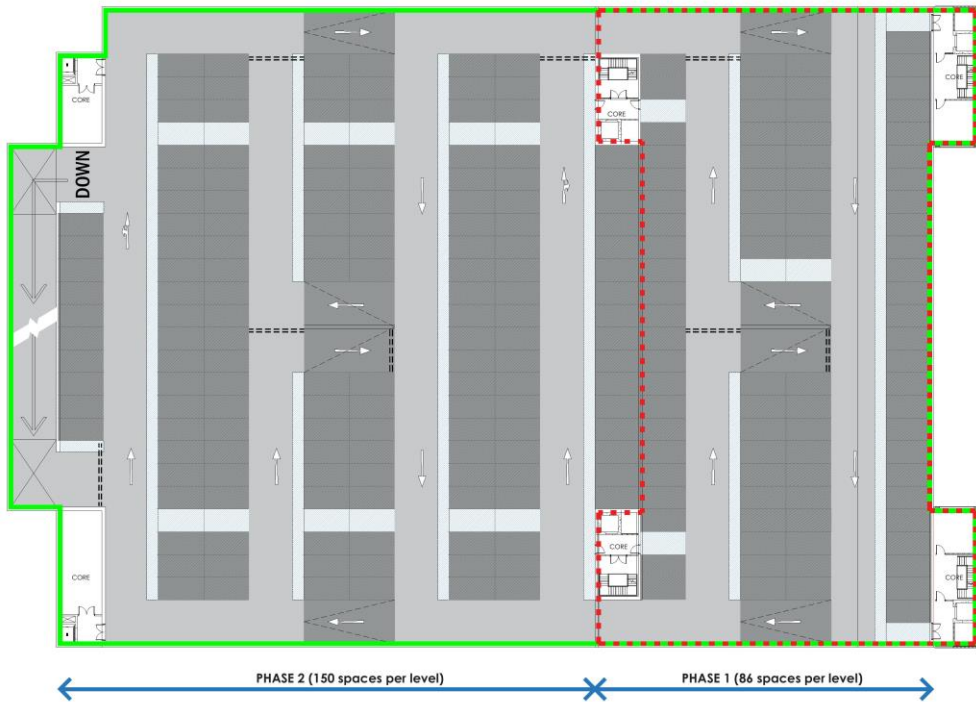
proj no: H5541-EXI-201-P3

The Walker Suite, Bulls Park Avenue, Coventry, CV1 3QE

+44 (0)24 7697 2144 [info@exi-group.co.uk](mailto:info@exi-group.co.uk)



# Levels 1 to 4 = 236 SPACES



PLAN\_ Levels 1 to 4 Layout  
1:200

For planning and the building application to be considered a 3D model of the proposed scheme is necessary and will be requested for the submission to the planning authority. All dimensions to be checked on site and architect verified of any discrepancies prior to commencement. **DO NOT SCALE!**

note:

Level	Phase 1		Phase 2		Total		
	Reserved	Disabled	Permitted	Unreserved			
0	30	34	0	65	64	0	201
1	86	0	0	150	0	0	236
2	86	0	0	150	0	0	236
3	86	0	0	150	0	0	236
4	86	0	0	150	0	0	236
5	84	0	0	154	0	0	238
<b>Total =</b>	<b>500</b>	<b>0</b>	<b>0</b>	<b>863</b>	<b>0</b>	<b>0</b>	<b>1363</b>

**SCHEDULE - Parking Schedule**

- Parking space types**
- Ambulant parking space
  - Walkway areas
- Phases**
- Phase 1 = 2483.7m<sup>2</sup>
  - Phase 1&2 = 4988.6m<sup>2</sup>

rev.	date	comment(s)	author	checked
P1	14/03/23	Technical updates from changes to phases 1, 2, 3 and existing numbers	AI	LV
P2	14/03/23	Draw & drawing name updates	HC	LV
P3	14/03/23	Final issue	HC	LV



client: The QEH King's Lynn NHS Foundation Trust  
 job: MSQP GBH  
 title: Proposed Context Levels 1 to 4 Plan  
 drawn: AI date: 14.03.2023  
 checked: LV scale (A1): 1:200  
 suitability: 50 purpose: Planning  
 dtp no: H5541-EXI-201-P3  
 The Walker Suite, Bulls Park Avenue, Coventry, CV1 3QE  
 t: +44 (0)24 7697 2144 e: info@exi-group.com



# Level 5 = 238 Spaces



PLAN\_ Level 5 Layout  
1:200

For drawing part the building and structure, any dimensions shown on drawings are to be taken as shown unless otherwise stated. All dimensions to be checked on site and architect notified of any discrepancies prior to commencement. **DO NOT SCALE!**

note:

Level	Parking Schedule				Total		
	Phase 1		Phase 2				
	Ambulant	Disabled	Ambulant	Disabled			
0	38	34	0	65	64	0	201
1	86	0	0	150	0	0	236
2	86	0	0	150	0	0	236
3	86	0	0	150	0	0	236
4	86	0	0	150	0	0	236
5	84	0	0	154	0	0	238
<b>Total =</b>	<b>500</b>	<b>0</b>	<b>0</b>	<b>883</b>	<b>0</b>	<b>0</b>	<b>1383</b>

**SCHEDULE - Parking Schedule**

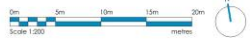
- Parking space types**
- Ambulant parking space
  - Walkway areas
- Phases**
- Phase 1 = 2483.7m<sup>2</sup>
  - Phase 1&2 = 4958.6m<sup>2</sup>

PS	14/03/23	Issued subject to final changes to phase 1, zone parking numbers.	AL	LV
PS	14/03/23	Gas & drinking water spaces.	HC	LV
PS	31/03/23	Final issue.	HC	LV
rev.	date	comment(s)	author	checked

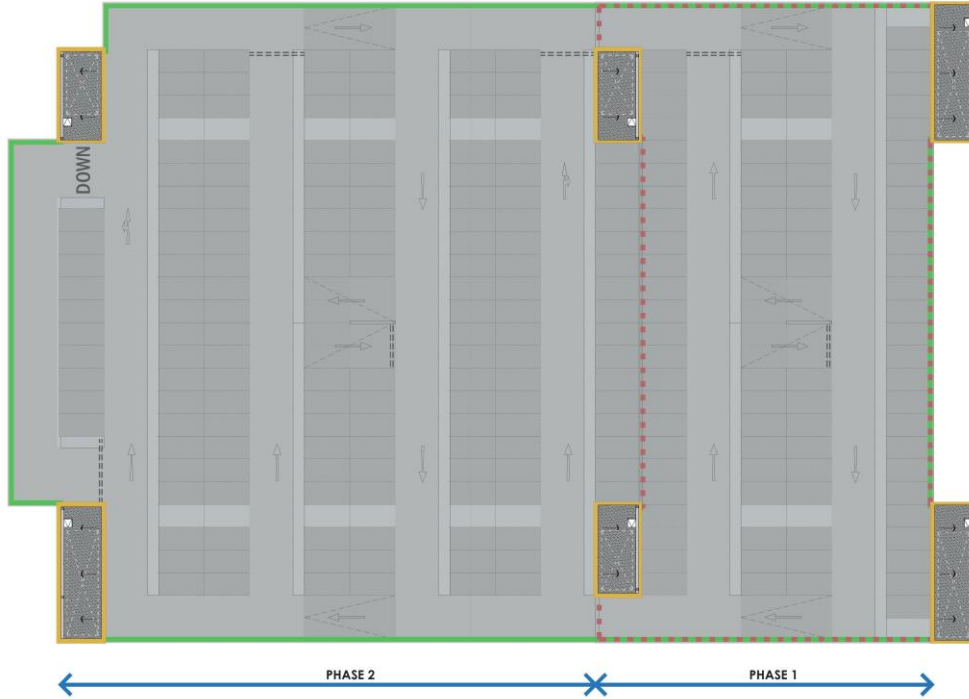
est. 1977

client: The QEH King's Lynn NHS Foundation Trust  
 job: MSCP GBH  
 title: Proposed Context Level 5 Plan  
 drawn: AL date: 14/03/2023  
 checked: LV scale (A1): 1:200  
 suitability: 50 purpose: Planning

dep no: H5541-EXI-202-P3  
 The Walker Suite, Bulls Park Avenue, Coventry, CV1 3QE  
 +44 (0)24 7697 2144 [hello@exi-group.co.uk](mailto:hello@exi-group.co.uk)



# Roof Plan



PLAN\_ Roof Layout  
1:200

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all dimensions to be checked on site and protected notified of any discrepancies prior to commencement. **DO NOT SCALE**

notes:

**Key**

- Flat roof over core
- Parapet casing flashing ppc to match elevations
- Roof fall
- Roof access locations
- Indicative PV locations

**Phases**

- Phase 1 = 2483.7m<sup>2</sup>
- Phase 1&2 = 4768.4m<sup>2</sup>

P2	13.10.22	Key & drawing name updated.	HC	LV
P1	24.09.22	Ref issue.	HC	LV
rev	date	comment(s)	name	check



client: The GBH King's Lynn NHS Foundation Trust

job: MSCP GBH

title: Proposed Context Roof Plan

drawn: HC date: 12.10.2022

checked: LV scale (A1): 1:200

submittal: 50 purpose: Planning

orig no: **H5541-EXI-203-P2**

The Hubbell Suite, Bull Post Avenue, Covehithe, CV14 3JG

+44 (0)24 7699 2948 [info@exi-group.com](mailto:info@exi-group.com)



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notes:



ELEVATION - north  
1 : 100

- 1 Powdercoated profile fin with stainless steel weather vane rope railing  
colour 1 (base,RAL9005)  
colour 2 (base, RAL7035)  
colour 3 (base, RAL2008)  
colour 4 (spine, RAL9010)
- 2 Soft face brickwork  
buff (glazecor, cotswold yellow)
- 3 Retaining wall and handrail  
1.100mm high pedestrian guard rail
- 4 Fair faced brickwork  
natural finish brickwork
- 5 Powdercoated aluminium infelcting  
between panels  
-anodised bronze (anodise code S45)
- 6 Powdercoated Aluminium frame  
-anodised bronze (anodise code S45)
- 7 Fluted stainless steel panel  
-anodised bronze (anodise code S45)
- 8 Powdercoated steel door  
-anodised bronze (anodise code S45)
- 9 Soft landscaping  
trees, shrubs, water, rocks and selected landscaping to be used in conjunction with drawing (see BS 12622)  
-indicative signage subject to separate planning application

Rev	Description	Author	Date
1	Issue for consultation	...	...
2	Issue for approval	...	...



client: The QEH King's Lynn NHS Foundation Trust  
 job: MSCP QEH  
 title: Proposed Elevations - Sheet 1  
 drawn: dc date: 13.10.2022  
 checked: LV scale (A3): 1 : 100  
 suitability: D2 purpose:  
 dsg no: H5541-EXI- 301 P2  
 The Waker Suite/Suits Park Arena/Coverly/CV1 3GE  
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notes:



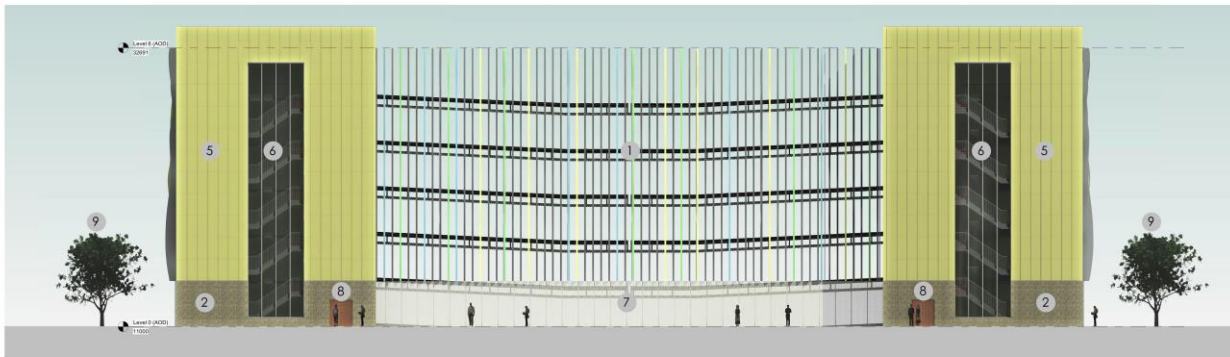
**ELEVATION - south**  
1 : 100

- 1 Powdercoated perforated fin with stainless steel weather vane cap  
- colour 1 (Black, RA2008)  
- colour 2 (Silver, RA2010)  
- colour 3 (Black, RA2011)  
- colour 4 (Grey, RA2012)
- 2 Soft face blockwork  
- soft pastel ...coloured yellow
- 3 Repeating wall and horizontal  
- 150mm high perforation guardrail
- 4 Fair faced blockwork  
- natural finish blockwork
- 5 Powdercoated aluminium interlocking infill screen panel  
- anodised bronze (sandak timber 545)
- 6 Powdercoated Aluminium frame  
- anodised bronze (sandak timber 545)
- 7 Reinforced expanded mesh panel  
- anodised bronze (sandak timber 545)
- 8 Powdercoated steel door  
- anodised bronze (sandak timber 545)
- 9 Soft landscaping  
- trees, perimeter walls and external landscaping to be read in conjunction with drawing DN, EX, 1002  
- all external signage subject to separate planning application

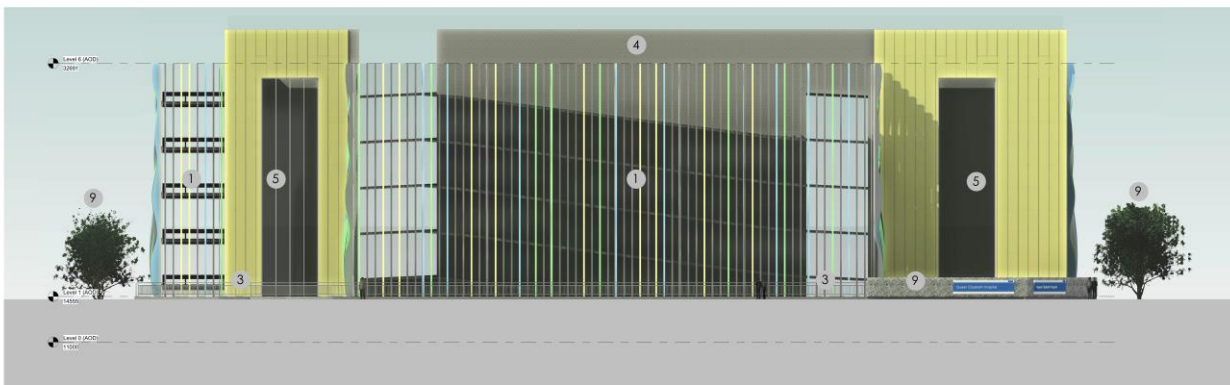
1	2	3	4	5	6	7	8	9
1	2	3	4	5	6	7	8	9



client: **The QEH King's Lynn NHS Foundation Trust**  
 job: **MSCP QEH**  
 title: **Proposed Elevations - Sheet 2**  
 drawn: **dc** date: **13.10.2022**  
 checked: **LV** scale (A3): **1 : 100**  
 suitability: **D2** purpose:  
 dwg no: **H5541-EXI- 302** **P2**  
 The Walker Suite/Butts Park Arena/Coverly/CV1 3GE  
 +44 (0)24 7899 2911 [hobollee.com](http://hobollee.com)



ELEVATION - east  
1: 100



ELEVATION - west  
1: 100

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- NOTES:
- 1 Powdercoated profile in with stainless steel external wall face material  
colour 1 (RAL) - RAL 7035  
colour 2 (RAL) - RAL 1018  
colour 3 (RAL) - RAL 9006  
colour 4 (RAL) - RAL 6021
  - 2 Split face brickwork  
split pattern - unweathered yellow
  - 3 Rebaring wall and thermal  
1500mm high packstation guard rail
  - 4 Pol faced blockwork  
topical brick blockwork
  - 5 Powdercoated aluminium interlocking rainscreen panel  
topical brick blockwork
  - 6 Powdercoated aluminium frame  
anodised bronze (profile number 545)
  - 7 Powdered expanded mesh panel  
anodised bronze (profile number 545)
  - 8 Powdercoated steel door  
anodised bronze (profile number 545)
  - 9 Sun landscaping  
- trees, plant matter works and external landscaping to be fixed in conjunction with drawing E01\_1202 (1)  
- indicative signage subject to separate planning application

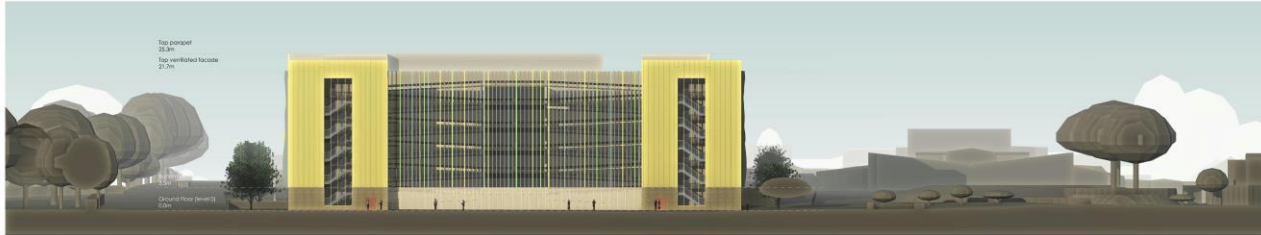
Client	MSCP GQH
Project	Proposed Elevations - Sheet 3
Drawn	dc
Checked	lv
Author	dq
Date	13.10.2022
Scale	1: 100
Purpose	



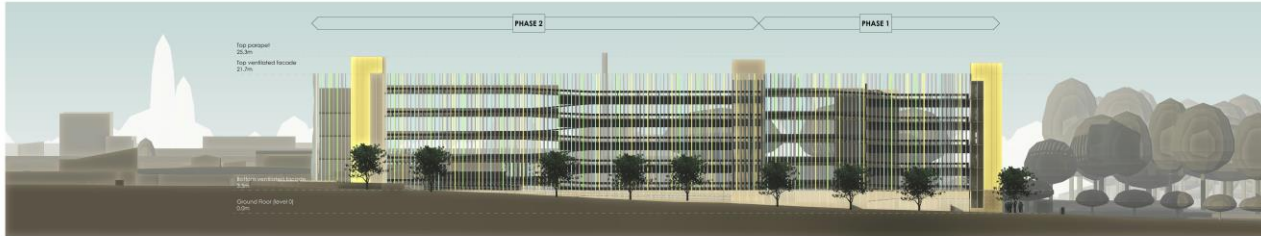
client: The QEH King's Lynn NHS Foundation Trust  
 job: MSCP GQH  
 title: Proposed Elevations - Sheet 3  
 drawn: dc date: 13.10.2022  
 checked: lv scale (A3): 1: 100  
 author: dq purpose:  
 dwg no: H5541-EXI- 303 P2  
 The Walker Suite/8/15/16 Park Avenue/Coverly/CV1 3GE  
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NOTES:



**ELEVATION - Street Scene A149**  
1:200



**ELEVATION - Street Scene A1076**  
1:200

Author	13.10.2022
Checked	13.10.2022
Drawn	13.10.2022



not ref. used

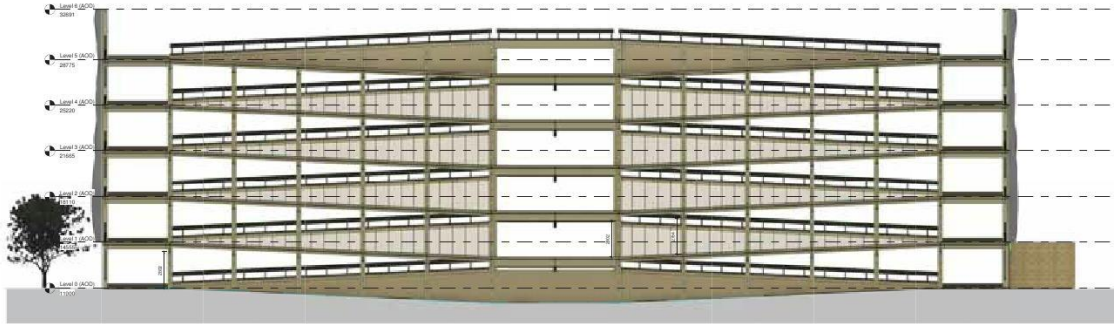
client: **The QEH King's Lynn NHS Foundation Trust**  
 job: **MSCP QEH**  
 title: **Proposed Context Street Elevations**  
 drawn: **dc** date: **13.10.2022**  
 checked: **LV** scale (AS): **1:200**  
 suitability: **D2** purpose: **PLANNING**  
 dwg no: **H5641-EXI-304** **P2**

The Walker Suite/6/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000

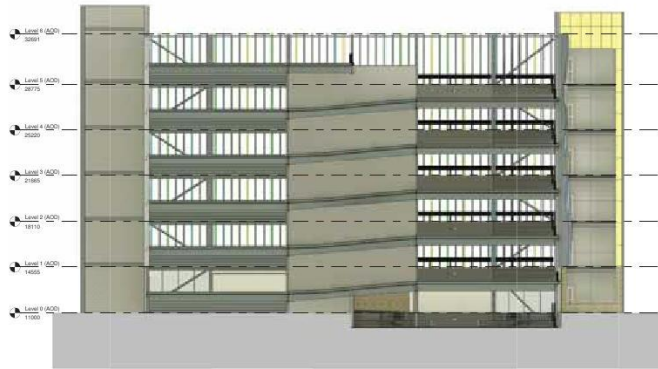


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All dimensions are to be finished unless otherwise stated.  
Notified of any discrepancies prior to commencement.  
DO NOT SCALE. ©

notes:



SECTION - A-A - Phase 1  
1:100

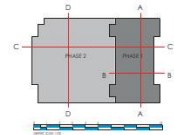


SECTION - B-B - Phase 1  
1:100




client: The QEH King's Lynn NHS Foundation Trust  
job: MSCP QEH  
title: Proposed Section - Sheet 1  
drawn: dc date: 13.10.2022  
checked: LV scale (A3): 1:100  
submittal: D2 purpose: PLANNING  
dgn no: H5541-EXI-400 P2

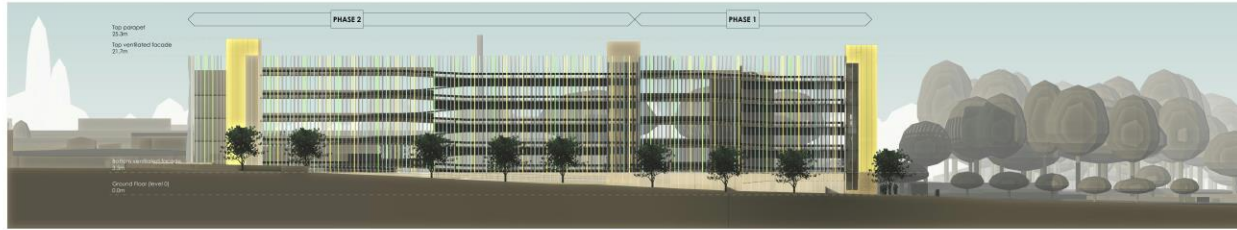
the walker Suite/Bulls Park Arena/Coverly/CV1 3GE  
+44 (0)24 7699 2941 info@exi-group.com



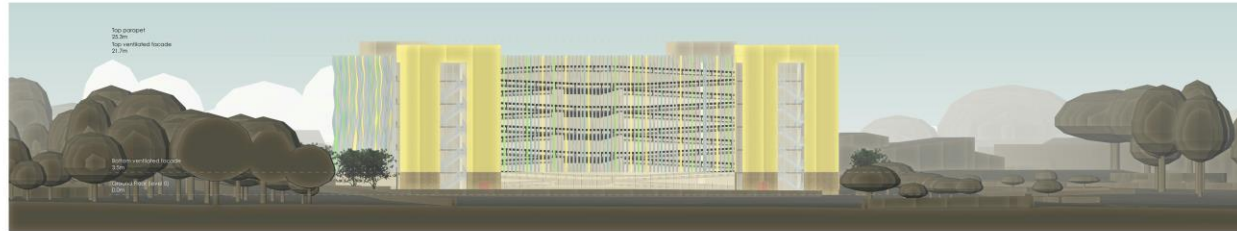


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**DO NOT SCALE.**

notes:



**SITE SECTION - A1076**  
1 : 200



**SITE SECTION - A149**  
1 : 200

Client	Health Care Services, Health Care Administration	13.10.2022
Drawn by	LV	13.10.2022
Checked by	DQ	13.10.2022



**Understand.  
Own.  
Deliver.**

ref: 10561

client: **The QEH King's Lynn NHS Foundation Trust**

job: **MSCP QEH**

title: **Proposed Site Sections**

drawn: **dc** date: **13.10.2022**

checked: **LV** scale (AS): **1 : 200**

suitability: **D2** purpose: **PLANNING**

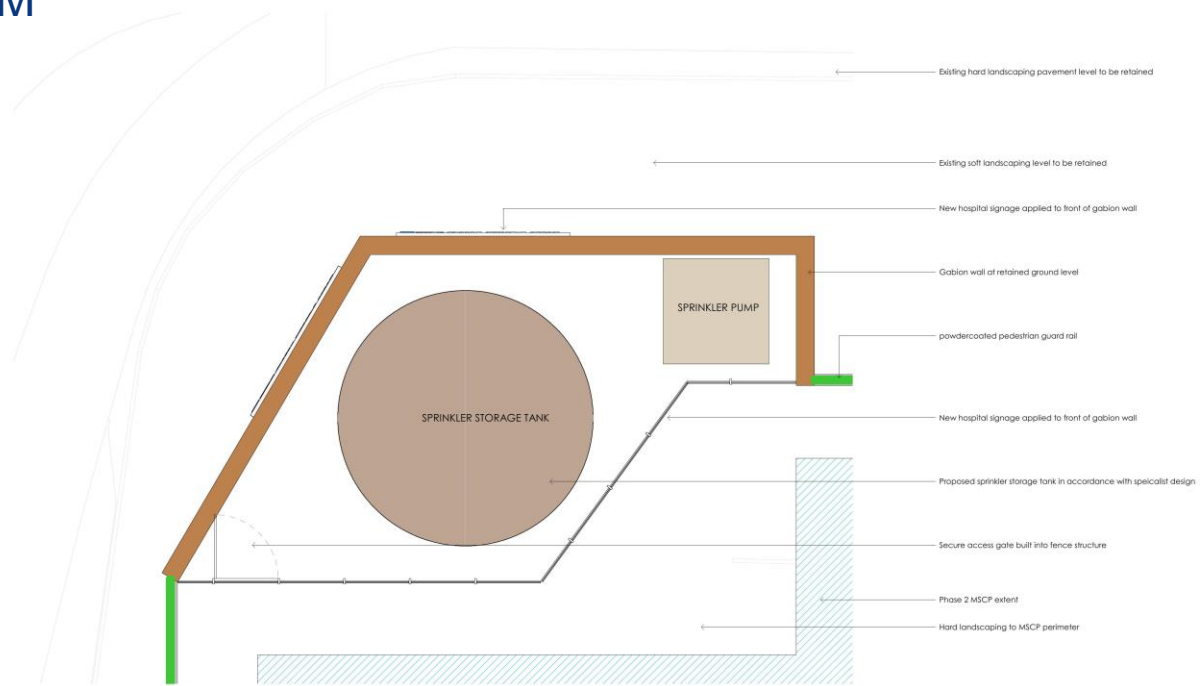
drawn: **HS641-EXI-402** **P2**

The Walker Suite (Bulls Park Area) / Coventry / CV1 3GE

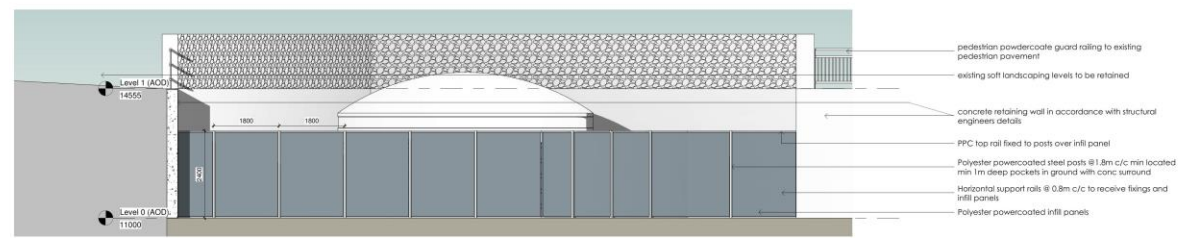
+44 (0)24 7699 2941 [www.exigroup.com](http://www.exigroup.com)



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**PLAN - Sprinkler Tank Compound**  
1 : 50

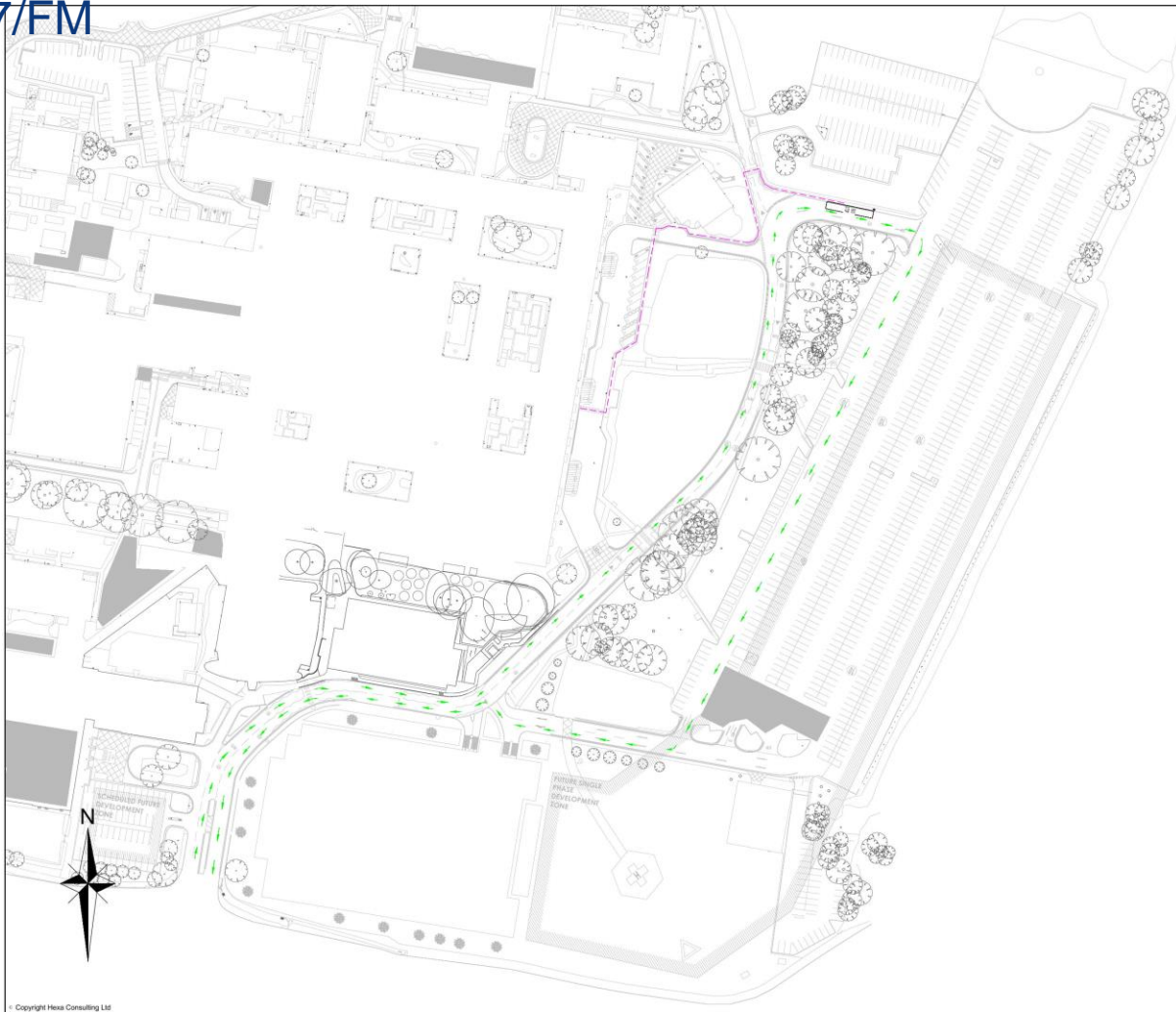


**ELEVATION - Sprinkler Tank Compound**  
1 : 50

Rev	Rev Issue	14.03.2023
01	Issued for Construction	01/01

**exi** Understand. Own. Deliver.  
est. 1973

client: The QEH King's Lynn NHS Foundation Trust  
 MSCP QEH  
 job:  
 title: Proposed Sprinkler Tank Enclosure  
 draw: dc date: 14.03.2023  
 checked: LV scale (A1): 1 : 50  
 suitability: D2 purpose:  
 design: H541-EXI-850 P1  
 The Walker Suite / Butts Park Arena / Coventry / CV1 3GE  
 +44 (0)24 7499 2949 [hello@exi-group.com](mailto:hello@exi-group.com)



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  2. This drawing is to be read in conjunction with all relevant architects, engineers and specialists drawings and specifications.
  3. All dimensions in millimetres unless noted otherwise. All levels in metres unless noted otherwise.
  4. Any discrepancies noted on site are to be reported to the engineer immediately.

**Key Plan**

- REVISED BUS ROUTE THROUGH HOSPITAL GROUNDS
- PEDESTRIAN ROUTE TO MAIN HOSPITAL

**Legend**


P01	07.10.22	Preliminary Issue					
Rev	Date	Description of Issue / Revision					

**Issues & Revisions**

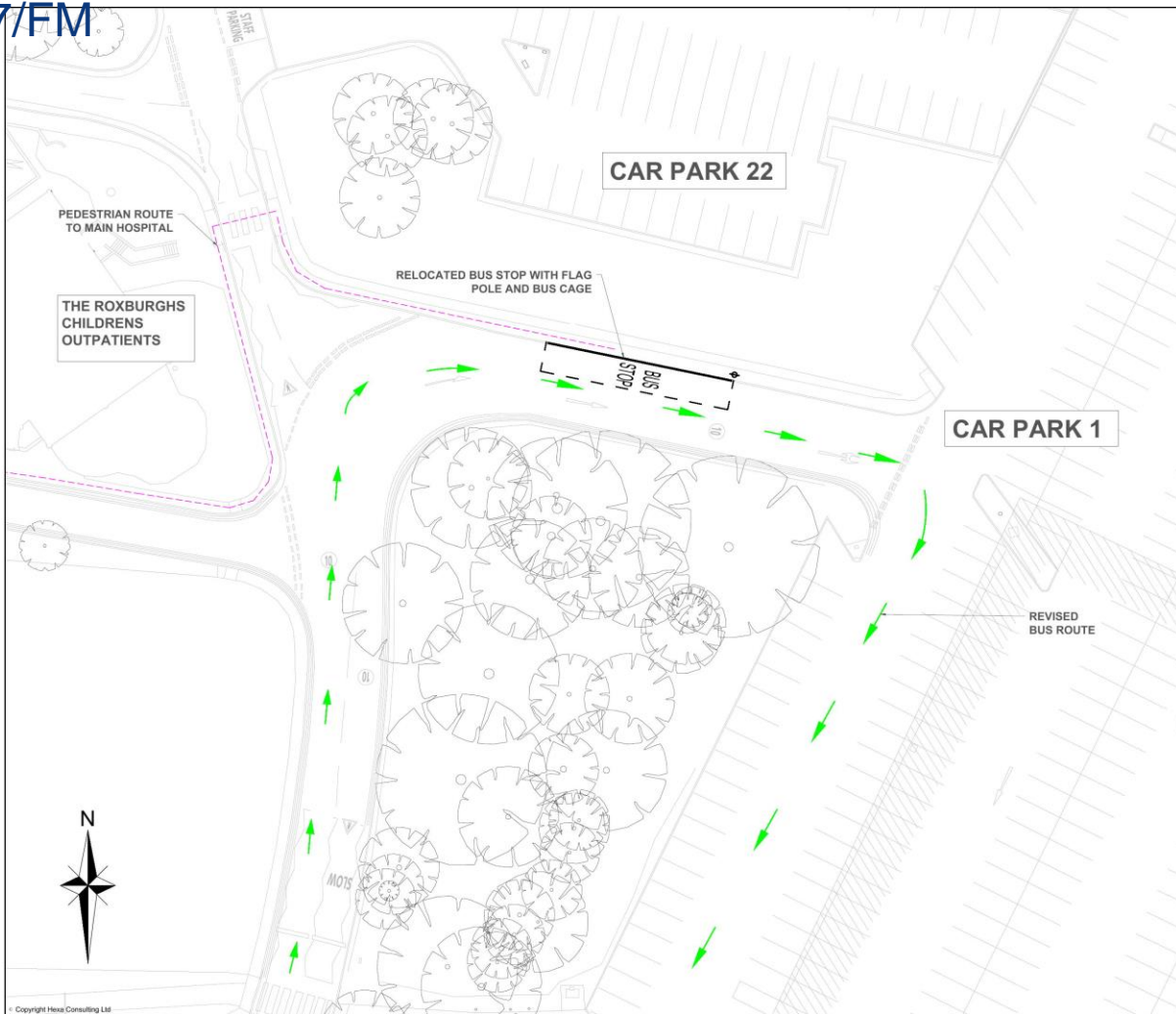


Client  
**EXI ON BEHALF OF QEHL**

Project Title  
**QEH KINGS LYNN MSCP**

**Drawing Title**  
**REVISED BUS ROUTE**

Drawn:	C. WHITNELL	Reviewed:	M. PRICE
Issue Ref:	600544	Scale:	A2 1:1000
Purpose of Issue:	<b>Work in Progress</b>		Status: <b>S0</b>
Project - Originator - Zone - Level - Type - Role - Number	600544-HEX-00-00-DR-TP-0100		Rev: <b>P01</b>



- Notes**
1. Do not scale this drawing. All dimensions are in millimetres unless noted otherwise. All dimensions on site if in doubt ask.
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  3. All dimensions in millimetres unless noted otherwise. All levels in metres unless noted otherwise.
  4. Any discrepancies noted on site are to be reported to the engineer immediately.

**Key Plan**

**Legend**

P01	18.10.22	Updated Issue	CW	MP
P01	07.10.22	Preliminary Issue	CW	MP
Rev	Date	Details of Issue / Revision	Draw	Rev

**Issues & Revisions**

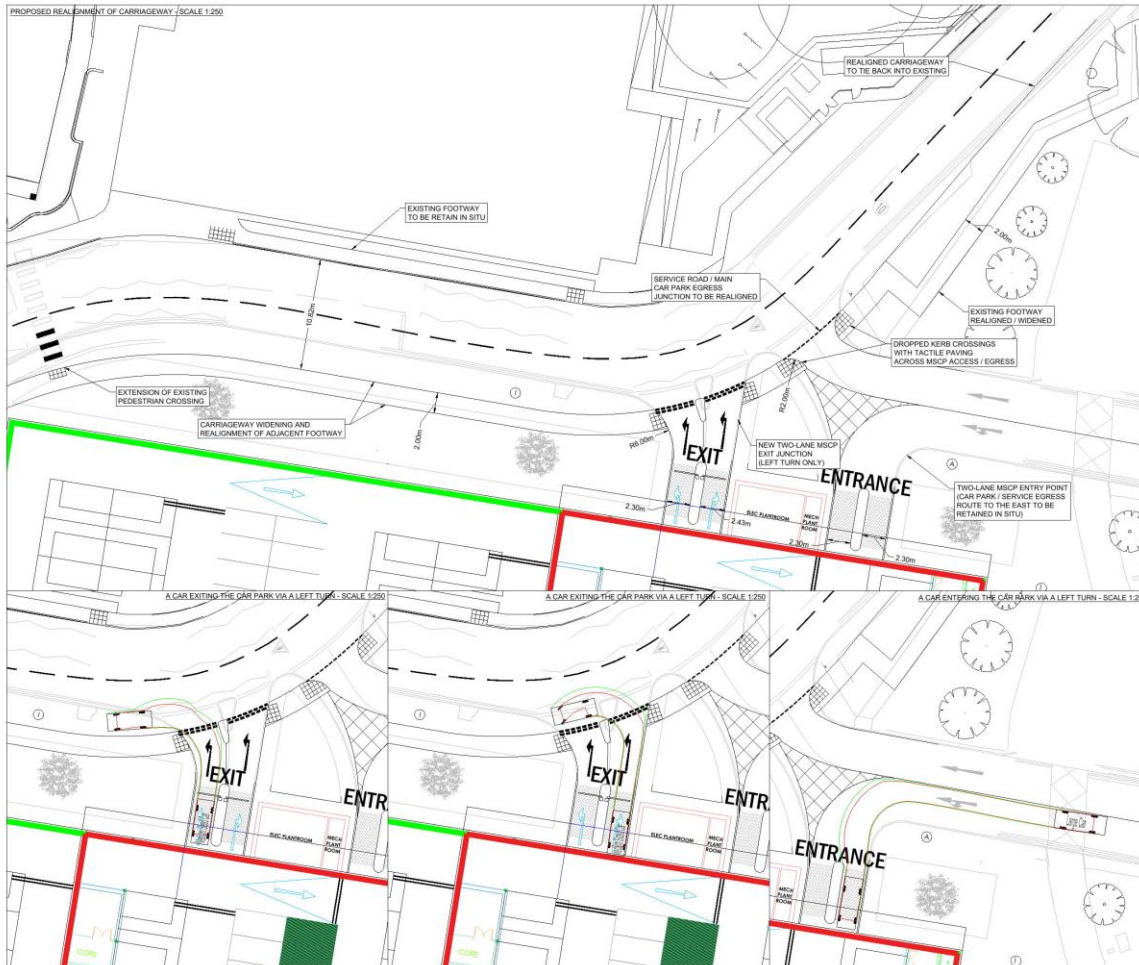


Client  
**EXI ON BEHALF OF QEHK**

Project Title  
**QEH KINGS LYNN MSCP**

Drawing Title  
**BUS STOP RELOCATION**

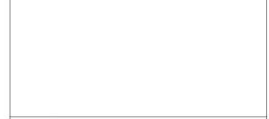
Drawn:	C. WHITNELL	Reviewed:	M. PRICE
Issue Ref:	600632	Scale/A2:	1:250
Purpose of Issue:	<b>Work in Progress</b>		Status: <b>S0</b>
Project - Originator - Zone - Level - Type - Role - Number	600544-HEX-00-00-DR-TP-0200		Rev: <b>P02</b>



Notes

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2. This drawing is to be read in conjunction with all relevant architects, engineers and specialists drawings and specifications.
3. All dimensions in millimetres unless noted otherwise. All levels in metres unless noted otherwise.
4. Any discrepancies noted on site are to be reported to the engineer immediately.

Key Plan



Legend


PI02	18.10.22	Planning Issue	AH	MP
PI01	15.09.22	Preliminary Issue	ND	MP
Rev	Date	Details of issue / revision	ND	Rev

Issues & Revisions



Client  
**EXI ON BEHALF OF QEHL**

Project Title  
**QEHL MSCP**

Drawing Title  
**HOSPITAL MSCP ACCESS**

Drawn:	N.DAVIE	Reviewed:	M.PRICE
Hexa Ref:	600544	Scale:	A2 AS SHOWN
Purpose of Issue:	<b>Planning</b>		Status <b>S2</b>
Project - Originator - Zone - Level - Type - Role - Number	600544-HEX-00-00-DR-TP-0400		Rev <b>P02</b>



1.0 DRAWING INFORMATION  
 1.1 This East Midlands Landscaping drawing is based upon: HS541-EXI-103-P1-Proposed GA Site Plan  
 2.0 See in conjunction with EML EXI 1202 Landscape Specification & Management

Item	Landscaping Standard	Height	Light	Specification	Plant Specification
1	Minimum Spacing	2000mm			100% 100%
2	Minimum Spacing	2000mm			100% 100%
3	Minimum Spacing	2000mm			100% 100%
4	Minimum Spacing	2000mm			100% 100%

Plant Name	Quantity	Plant Size/Number
1	10	100%
2	10	100%
3	10	100%
4	10	100%

Plant Name	Quantity	Plant Size/Number
1	10	100%
2	10	100%
3	10	100%
4	10	100%

Broxap Sherwood Bench Colour to Match Building



Tobermore Hydrograve Fusion Duo



Moblane Green Screens



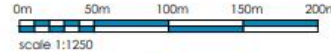
Rev.	Comments	Date
E	Updated to suit cycle parking	14.03.2023
D	Changed amelanchier species	19.10.2022
C	Note removed from drawing	06.10.2022
B	Changed to latest site layout	04.10.2022
A	Change from turf to seed specification	20.09.2022

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Landscaping Design, Management & Consultancy  
 Title: Proposed Landscaping Plan  
 Client: EXI Group  
 Project: MSCP QEH King's Lynn

DWG No. EML EXI 1202 01  
 Status: For Approval Date: 14.03.2023  
 Drawn: HC Reviewed: E  
 Checked: JK Scale: 1:250 @ A1  
 The Knoll, Leicester Road, East Midlands, Leicester, LE19 7J  
 Tel: (01455) 802020  
 email: jon.king@eastmidlandslandscaping.co.uk



- Land ownership boundary
- Application boundaries

P1	2012-03	Site plan submission	1:1	1:1
P2	2012-03	Site plan submission	1:1	1:1
P3	2012-03	Application submission	1:1	1:1
P4	2012-03	Final plan	1:1	1:1
REV	2012-03	Final plan	1:1	1:1

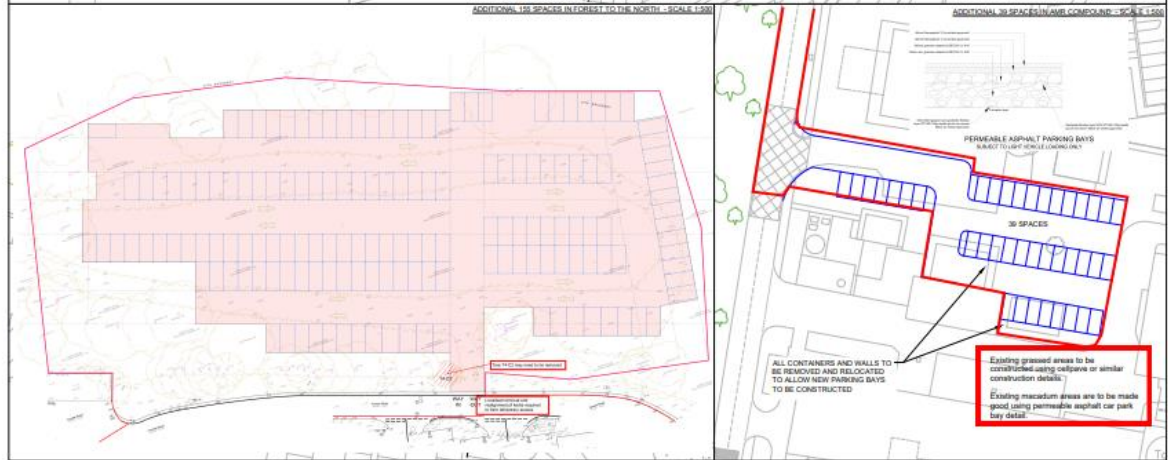
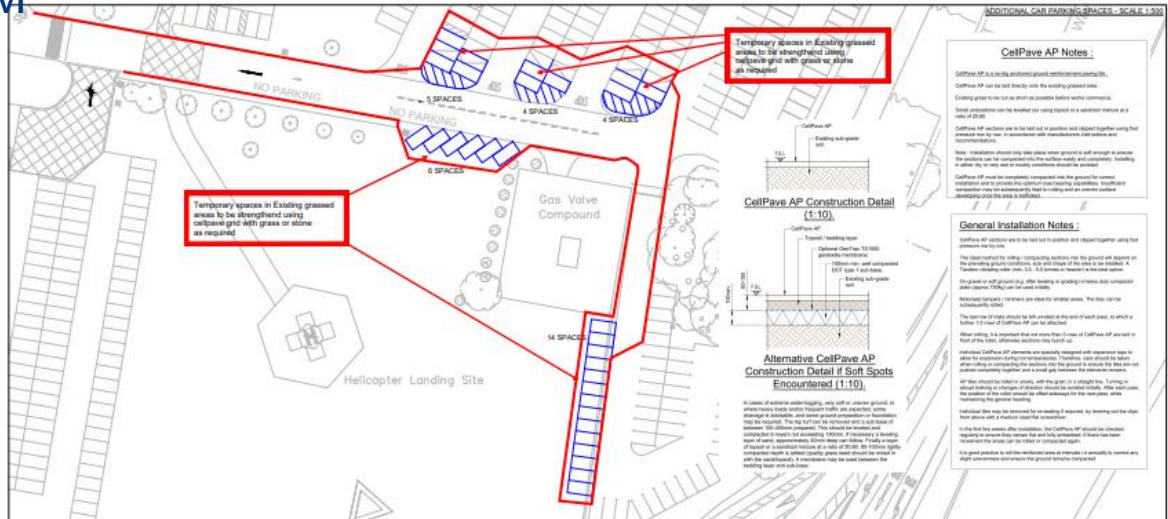


client: The Q&E King's Lynn NHS Foundation Trust  
 job: Q&E Temporary Displaced Car Parking  
 title: Location Plan  
 drawn: HC date: 05.10.2022  
 checked: LV scale (A7): 1:1250  
 suitability: S2 purpose: Planning

file ref: HSB44-EXI-100-P4

The Watermark (South) Planning, Coventry, CV1 4JH  
 +44 (0)24 7619 2100 [www.watermark-group.com](http://www.watermark-group.com)





**Notes**

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- This drawing is to be read in conjunction with all relevant contracts, engineers and specialist drawings and specifications.
- All dimensions in millimetres unless noted otherwise. All levels in metres unless noted otherwise.
- Any discrepancies noted on site are to be reported to the engineer immediately.

**Key Plan**

**Legend**

P03	04.10.22	Parking Spaces Revised	NAC	MAJ
P02	27.09.22	Proposed Car Park to the North Included	ND	MP
P01	26.09.22	Provisionary Issue	ND	MP
Rev	Date	Details of Issue / Revision	Drawn	Rev

**Issues & Revisions**



Client  
**EXI ON BEHALF OF QEHL**

Project Title  
**QEHL MSCP**

Drawing Title  
**DISPLACED CAR PARKING**

Drawn:	N.DAVIE	Reviewed:	M.PRICE
Hexa Ref:	600544	Scale:	A2 1:500
Purpose of Issue	<b>Work in Progress</b>	Status	<b>S0</b>
Project - Originator - Zone - Level - Type - Rise - Room - Number	800544-HEX-00-00-DR-TP-0600	Rev	P03





View looking north from Winston Churchill Drive



View looking northwest from junction of Winston Churchill Drive



View looking north from Gayton Road – site of Phase 1



View looking northwest from Gayton Road



View looking west from Helicopter Landing Area



View looking southwest from top of bunding (parallel to the A149)



View looking southwest from existing main car park



View looking southwest towards the junction of Winston Churchill Drive





View looking south towards Gayton Road / main entrance to QEH – site of Phase 2



View looking east from the main entrance to QEH



View looking east from Gayton Road, just east of the main entrance to QEH



View looking south west from Gayton Road towards adjacent properties



View looking south from Gayton Road towards Winston Churchill Drive



View looking east from Gayton Road towards A149 roundabout



View looking northeast from existing QEH car park towards Bawsey Ruins



View from slip road that runs adjacent to Gayton Road





View from 'Hospital' roundabout



View from mini roundabout



View from Spot Lane / Crow's Wood (a Schedule Monument)



View from remains of Church of St James

# Speaker: Simon Houldcroft

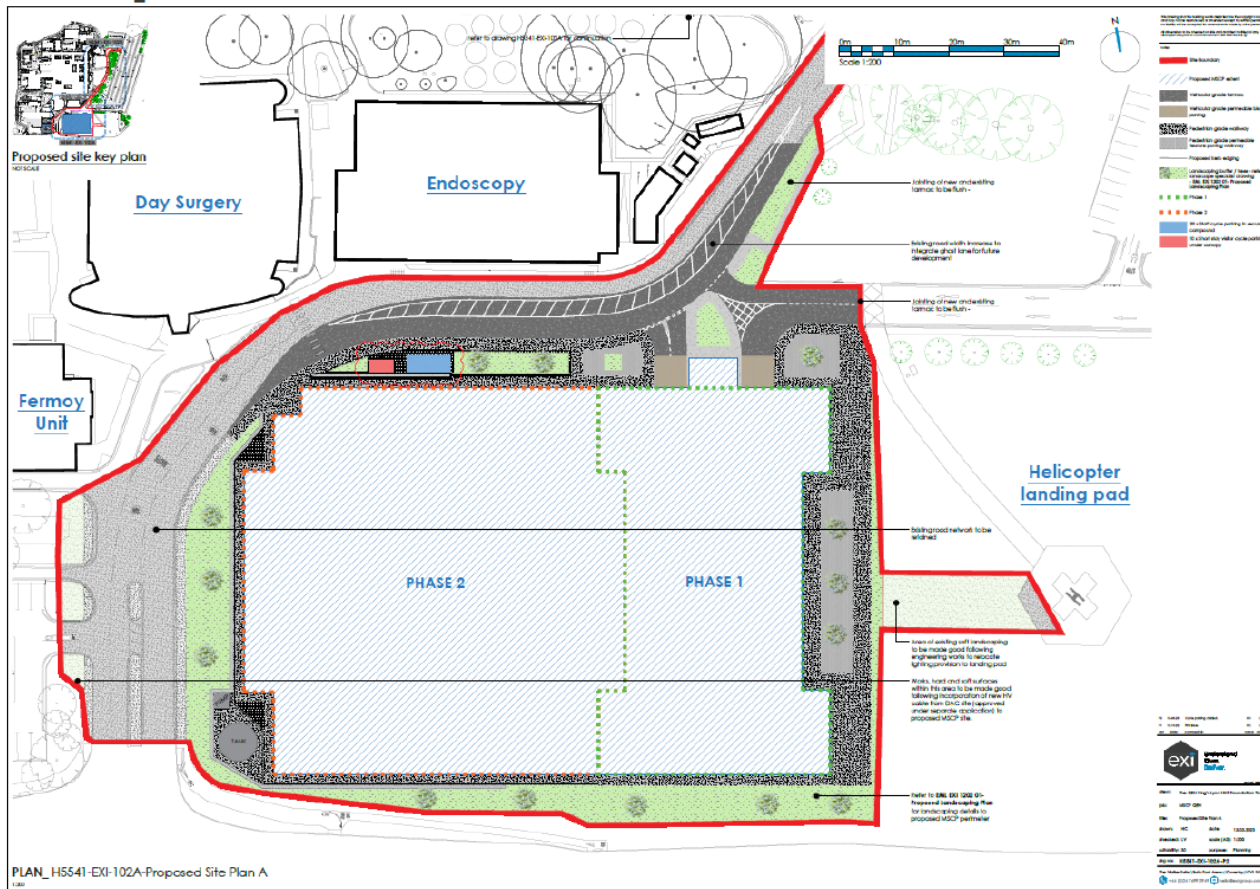


# Aerial View of the Existing QEH Site.



Proposed development site outlined in red

# Proposed Site Plan.



# Ground Floor General Arrangement Plan.



PLAN\_ Ground Floor Layout  
1:200



# Massing Model of Proposed Development.



# Phase 1 and 2 of the Proposed MSCP.



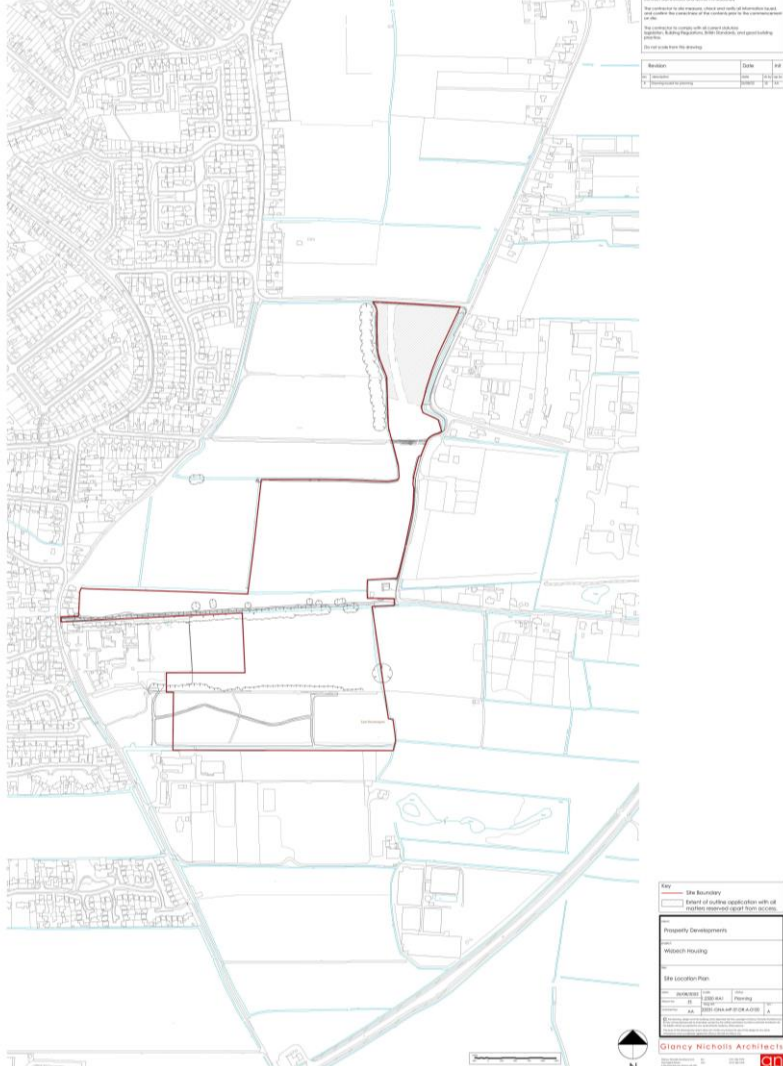
Phase 1



Phase 2

**22/01756/FM**







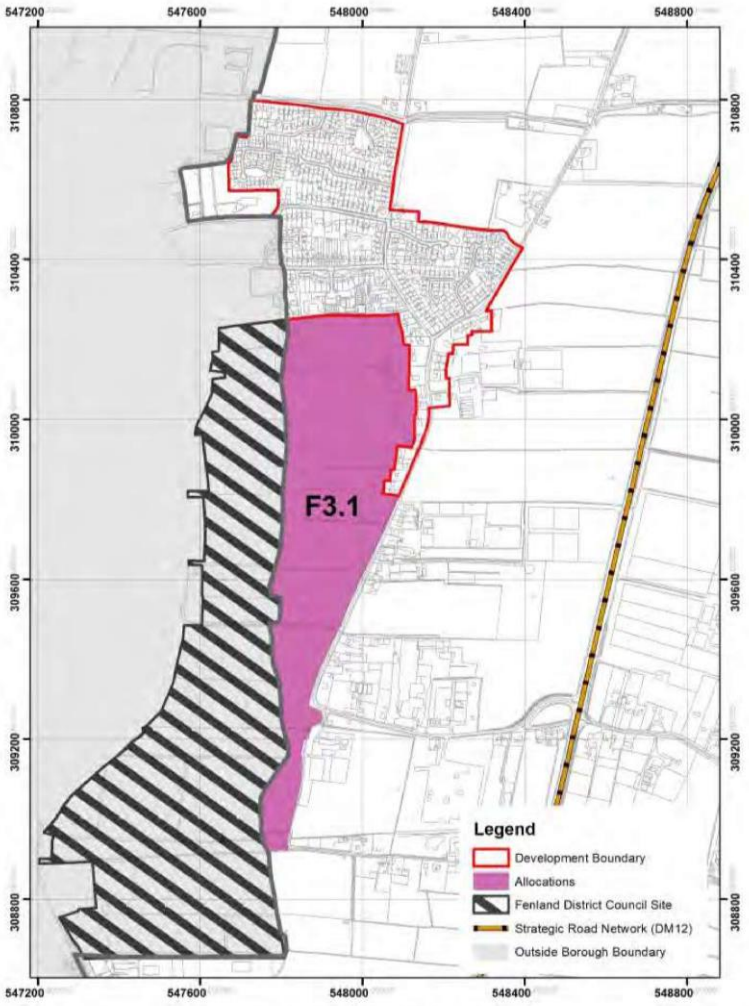


**Key**

- Site Boundary
- Existing buildings (shaded grey)
- Proposed Developments
- Existing Housing
- Proposed Site Plan

15/06/2024  
 15/06/2024  
 15/06/2024

**Glancy Nicholls Architects**



- Legend**
- Development Boundary
  - Allocations
  - Fenland District Council Site
  - Strategic Road Network (DM12)
  - Outside Borough Boundary

Inset F3 Wisbech Fringe



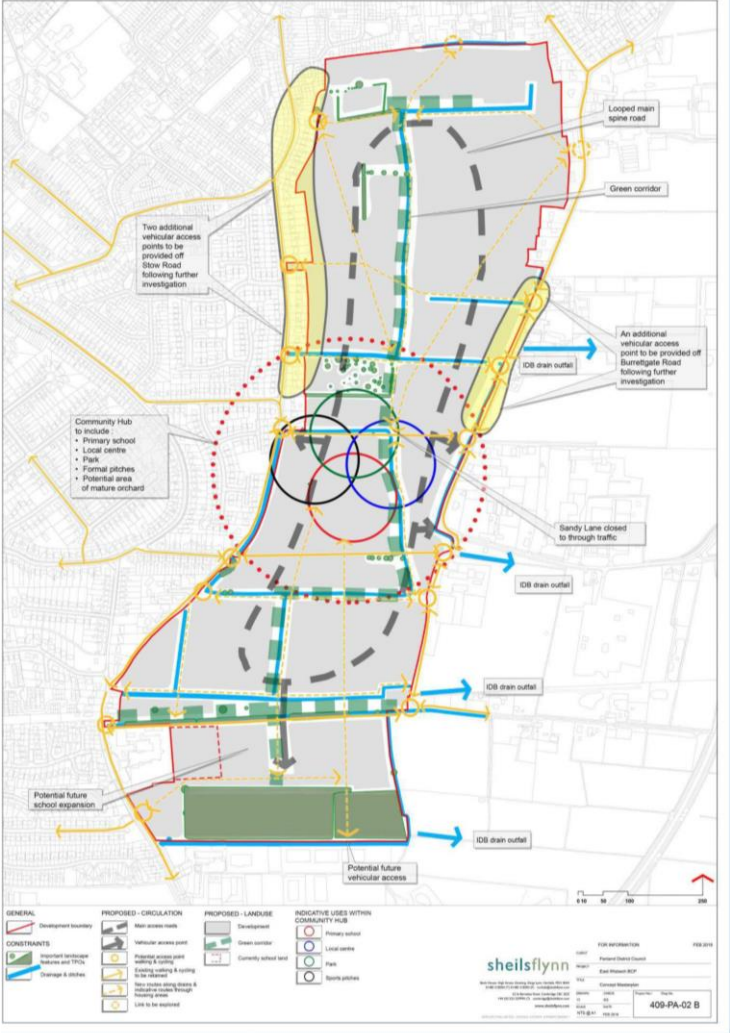


Figure 19: BCP Main Diagram





## Example Street Scene









Sandy Lane

Broadend Road

View north-westwards from Green Lane





View westwards along public footpath midway along Green Lane





View westwards alongside Whitecross (Green Lane)





View NW from Green Lane (north of Whitecross)





View northwards from Green Lane (north of Whitecross)







View westwards along public footpath off Green Lane

**22/01987/FM**





**Legend**

Site Boundary

---

Figure Title  
**Existing Site Plan**

Project Name  
**Meerdyke Solar Farm**

Project Number <b>1620013921</b>	Figure No. <b>2.1a</b>
Date <b>November 2022</b>	Prepared By <b>CT</b>
Scale <b>1:5,000 @A3</b>	Issue <b>1</b>

Client  
**Downing Renewable Developments**

**RAMBOLL**





**Legend**

Site Boundary

Figure Title  
**Existing Site Plan**

Project Name  
**Meerdyke Solar Farm**

Project Number 1620013921	Figure No. 2.1b
------------------------------	--------------------

Date November 2022	Prepared By CT
-----------------------	-------------------

Scale 1:5,000 @A3	Issue 1
----------------------	------------

Client  
**Downing Renewable Developments**



1620013921-RAMMATES-00002-ExistingSitePlan\_05.dwg  
Maxim, Microsoft





**Legend**

- Site Boundary
- Temporary Construction Compound A
- Temporary Construction Compound B
- Palisade Fence
- Access Tracks
- Access Tracks (50cm Buffer)
- Security Fence (5m Buffer)
- Landscaping (5m Buffer)
- Solar Modules

Figure Title  
**Proposed Site Plan**

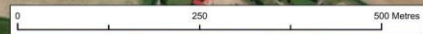
Project Name  
**Meurdyke Solar Farm**

Project Number 1620013921	Figure No. 2.2a
------------------------------	--------------------

Date November 2022	Prepared By CT
-----------------------	-------------------

Scale 1:5,000 @A3	Issue 1
----------------------	------------

Client  
**Downing Renewable Developments**





**Legend**

- Site Boundary
- Temporary Construction Compound A
- Temporary Construction Compound B
- Access Tracks
- Access Tracks (50cm Buffer)
- Security Fence (5m Buffer)
- Landscaping (5m Buffer)
- Solar Modules

Figure Title	
<b>Proposed Site Plan</b>	
Project Name	
<b>Meurdyke Solar Farm</b>	
Project Number	Figure No.
1620013921	2.2b
Date	Prepared By
November 2022	CT
Scale	Issue
1:5,000 @A3	1
Client	
<b>Downing Renewable Developments</b>	

1620013921\_RAMMA\_ES-00003\_ProposedSitePlan\_07.jpg

Structure Front View

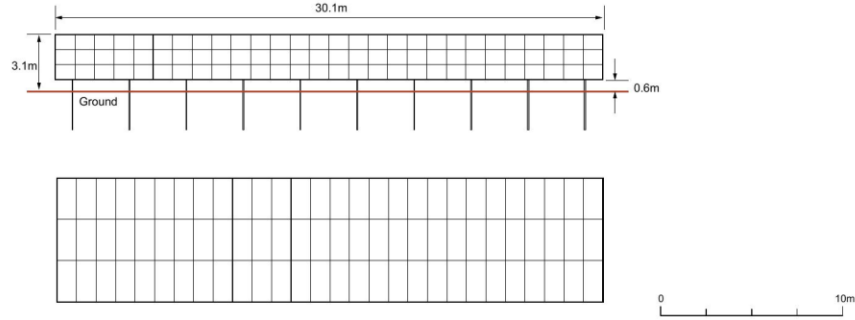
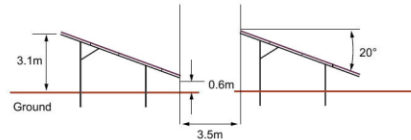


Table Post Type



Concrete Base Type

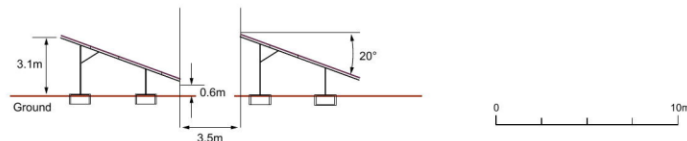

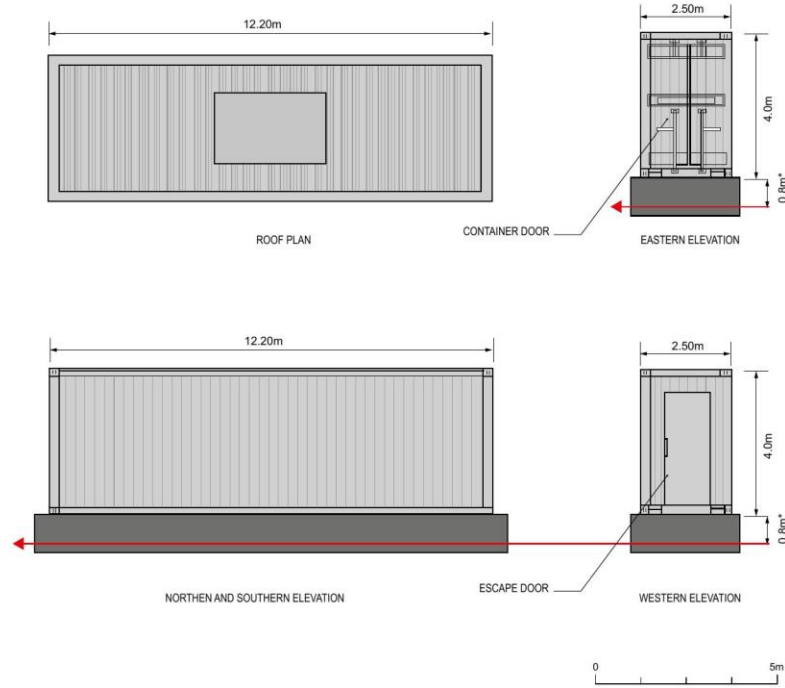


Figure Title Typical Array Details	
Project Name Meerdyke Solar Farm	
Project Number 1620013921	Figure No. 2.3
Date November 2022	Prepared By JBM
Scale 1:200 @ A3	Issue 1
Client Downing Renewable Developments	
	



\*Maintenance Clearance Elevation  
← Nominal Ground Level

Figure Title  
Typical Battery Storage Details

Project Name  
Meerdyke Solar Farm

Project Number 1620013921	Figure No. 2.4
------------------------------	-------------------

Date November 2022	Prepared By JBM
-----------------------	--------------------

Scale 1:100 @ A3	Issue 1
---------------------	------------

Client  
**Downing Renewable  
Developments**





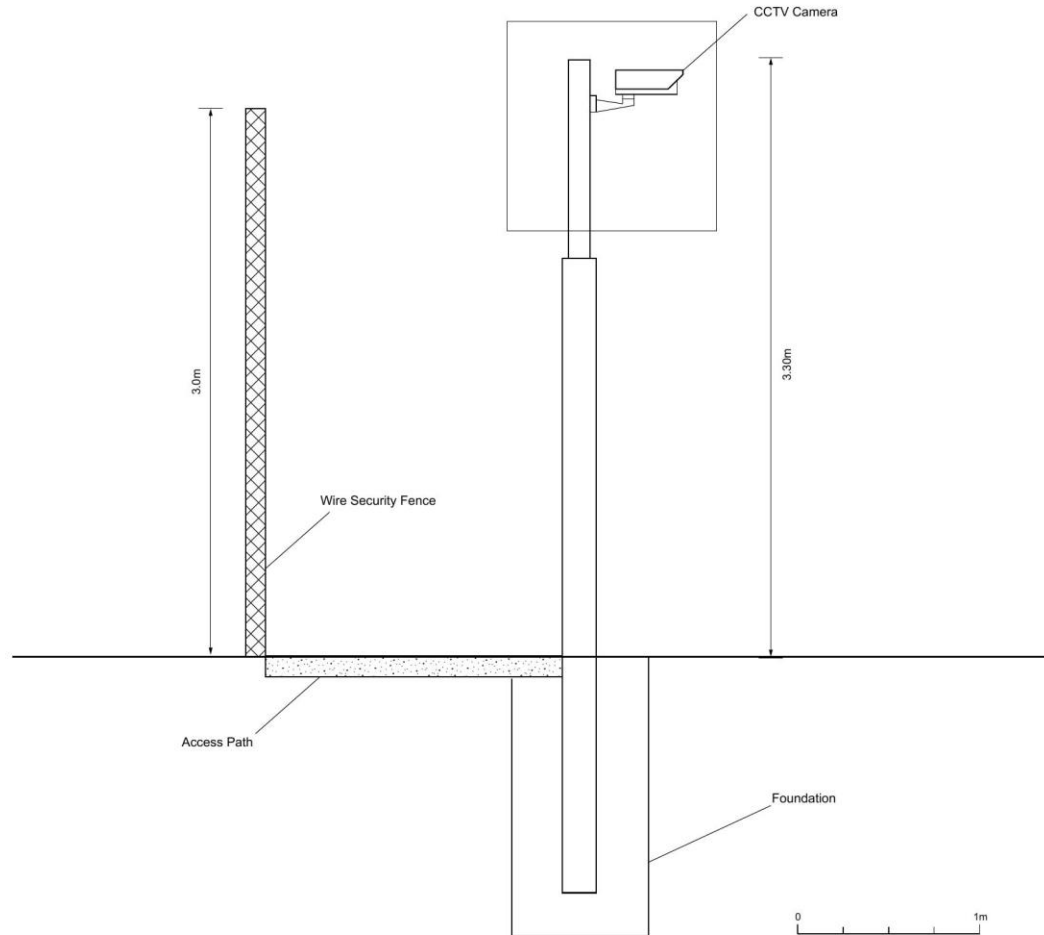


Figure Title  
Typical Fence and CCTV Details

Project Name  
Meurdyke Solar Farm

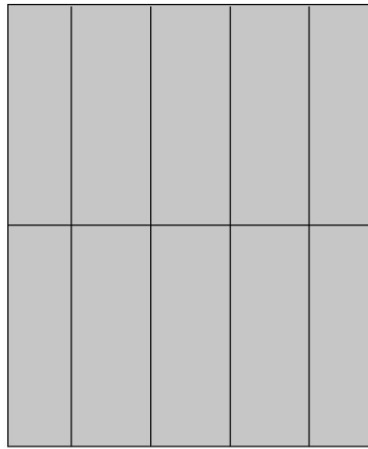
Project Number 1620013921	Figure No. 2.6
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Date November 2022	Prepared By JBM
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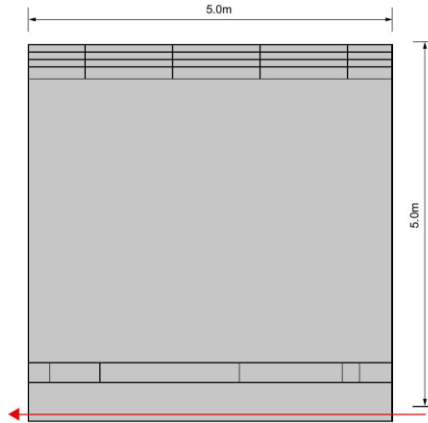
Scale 1:20 @ A3	Issue 1
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Client  
**Downing Renewable  
Developments**

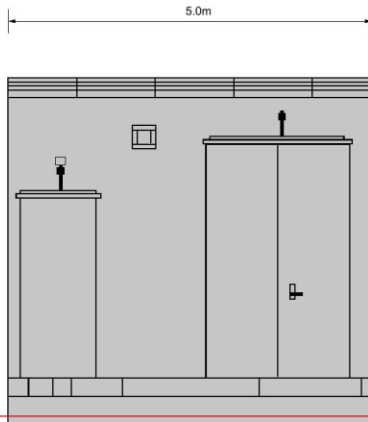




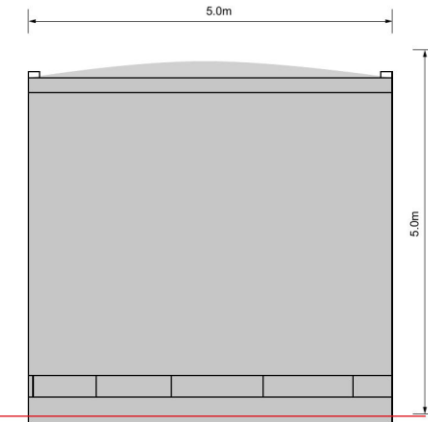
ROOF PLAN



END ELEVATION

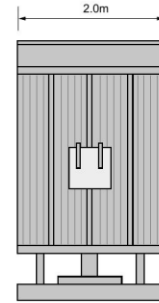


FRONT ELEVATION

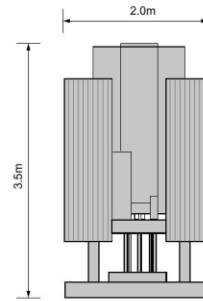


END ELEVATION

Typical Transformer (Unhoused) shown below



NORTHERN ELEVATION



EASTERN AND WESTERN ELEVATION



← Nominal Ground Level

**Note:** The Transformer and Switchgear will be housed within the housing at the Meerdyke Substation Compound

Figure Title  
Typical Switchgear and Transformer Housing

Project Name  
Meerdyke Solar Farm

Project Number  
1620013921

Figure No.  
2.5

Date  
November 2022

Prepared By  
JBM

Scale  
1:50 @ A3

Issue  
1

Client  
Downing Renewable Developments





Poplar Farm









Application site





Linward

Meerdyke Farm

















**22/01151/FM**

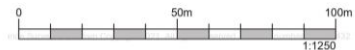




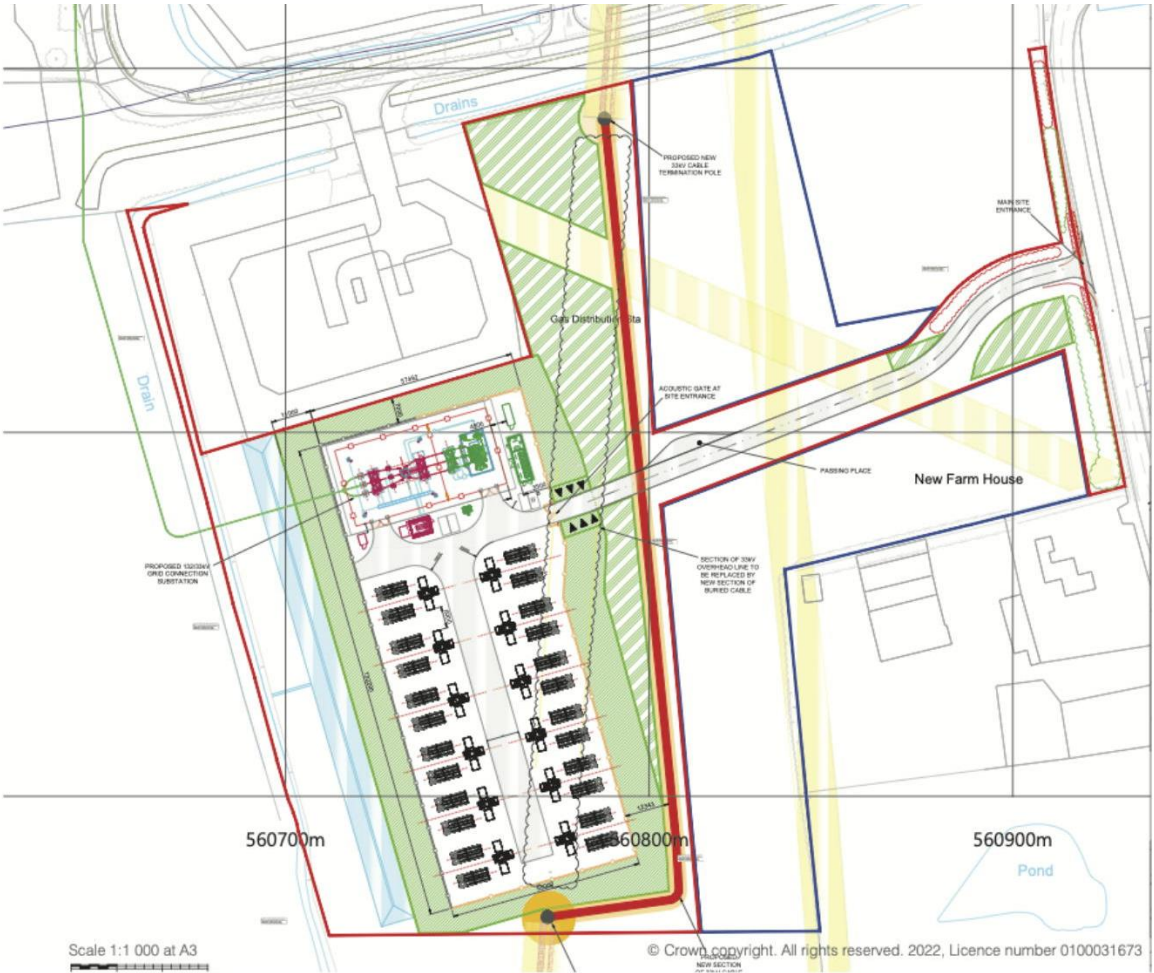
Figure 2

KEY

-  North
-  Proposed Development Boundary
-  Other Land Under Applicants Control







KING'S LYNN BESS  
Proposed Site Layout

Figure 4

- NOTES**
1. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT DOCUMENTS AND SPECIALISTS DRAWINGS & SPECIFICATIONS.
  2. ANY DISCREPANCIES BETWEEN THIS DRAWING AND ANY OTHER TO BE REFERRED TO THE DESIGNER IMMEDIATELY.
  3. ALL WORKS TO COMPLY WITH THE LATEST CURRENT BRITISH STANDARDS.
  4. ALL DIMENSIONS IN MILLIMETERS UNLESS STATED OTHERWISE.
  5. ALL DIMENSIONS TO BE AS SHOWN UNLESS SPECIFIED OTHERWISE.

- KEY**
- PLANNING APPLICATION BOUNDARY
  - OTHER AREAS IN THE APPLICANT'S CONTROL
  - 3.9m HIGH WELDMESH FENCE
  - 3.9m HIGH ACOUSTIC FENCE
  - PLANTING AREAS
  - ENHANCED HEDGEROW PLANTING & EMBANKMENT
  - PROPOSED HEDGEROW PLANTING & EMBANKMENT
  - EXISTING HEDGEROW TO BE REMOVED
  - EXISTING 12m EASEMENTS (GAS AND CABLE)
  - PROPOSED EASEMENT FOR 33kV UNDERGROUND CABLE
  - 2m HIGH PLANTED BUND
  - SWALE

PREPARED BY



ON BEHALF OF

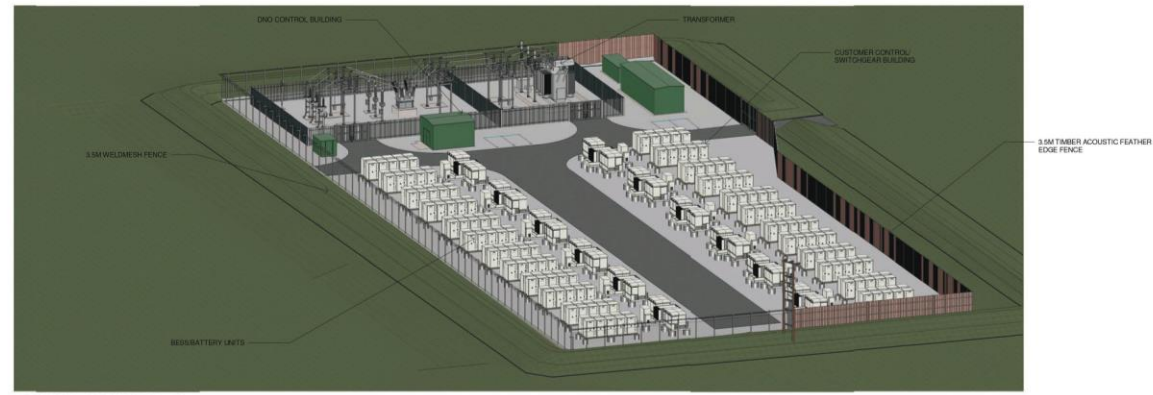


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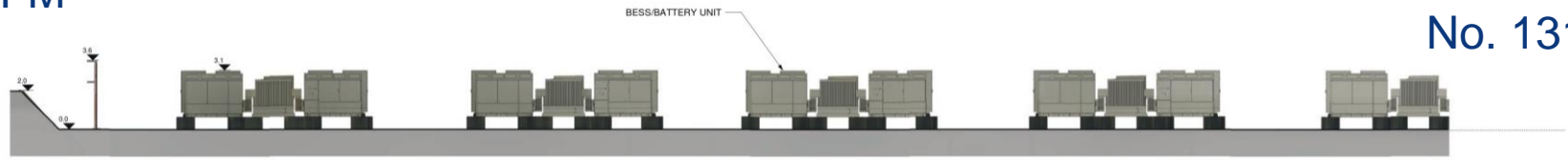


1 ISOMETRIC VIEW - N

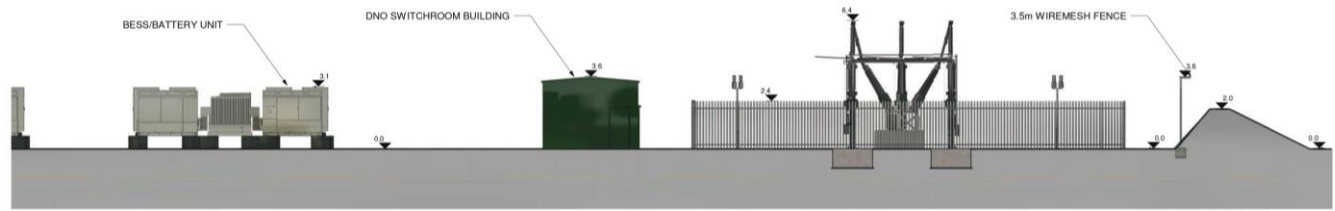


2 ISOMETRIC VIEW - S

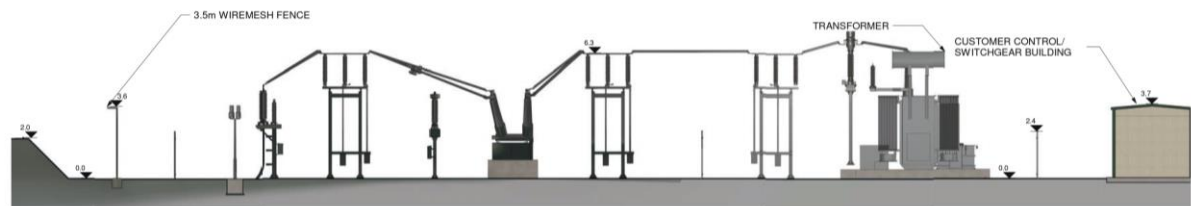




**A SECTION A**  
Scale 1:200 at A3



**B Section B**  
Scale 1:200 at A3



**C Section C**  
Scale 1:200 at A3

**KING'S LYNN BESS**

Proposed Site Sections  
without Landscape  
Mitigation

Figure 15 (Sheet 3 of 3)

PREPARED BY



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Figure 16



- LEGEND**
- Proposed native tree planting
  - Proposed native tree planting
  - Proposed native hedgerow mixture
  - Proposed wildflower mixture
  - Proposed wetland seed mixture
  - Proposed native buffer planting
  - Proposed access road surfacing
  - Application boundary
  - Other land within Applicant's Control

Scale 1:1 000 at A3

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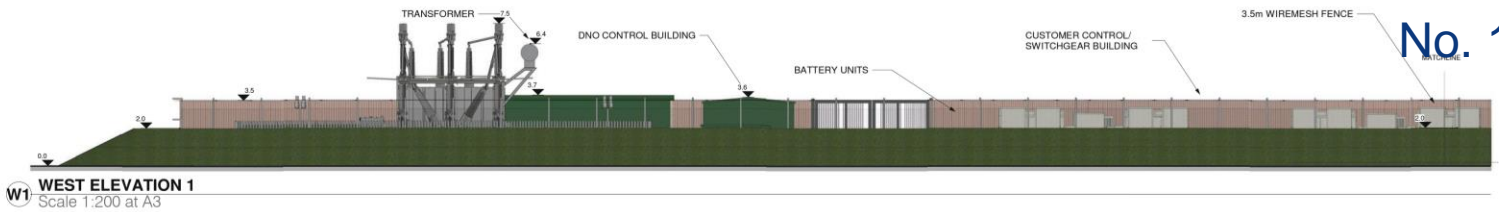
**LIZ LAKE ASSOCIATES**  
LANDSCAPE ARCHITECTS

ON BEHALF OF

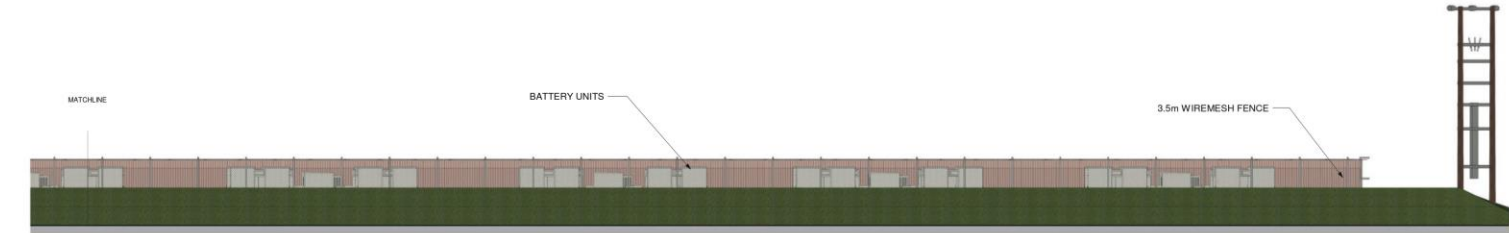


A Client of

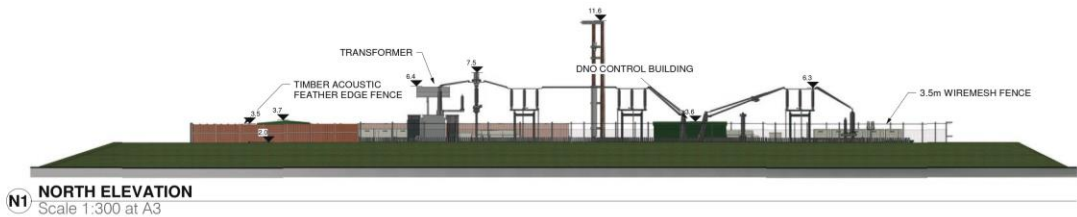




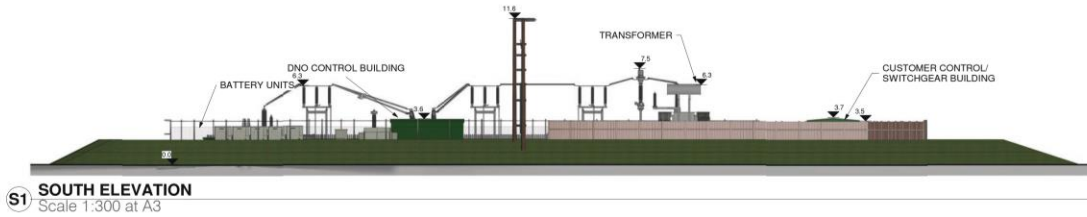
**W1 WEST ELEVATION 1**  
Scale 1:200 at A3



**W2 WEST ELEVATION 2**  
Scale 1:200 at A3



**N1 NORTH ELEVATION**  
Scale 1:300 at A3



**S1 SOUTH ELEVATION**  
Scale 1:300 at A3

**KING'S LYNN BESS**

Proposed West, North and South External Elevations without Landscape Mitigation  
Figure 15 (Sheet 2 of 3)

PREPARED BY



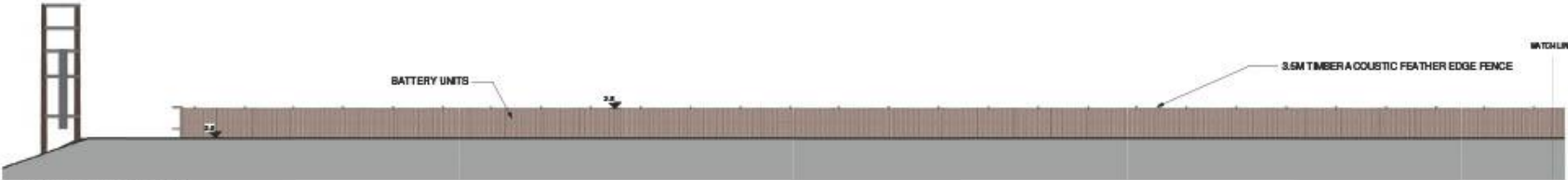
ON BEHALF OF



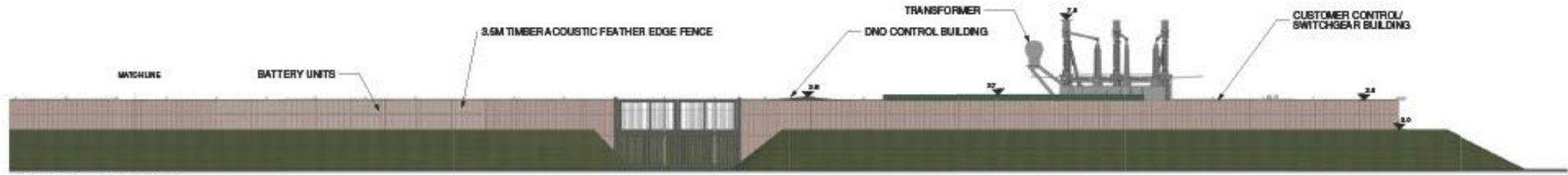
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**E1** EAST ELEVATION 1  
Scale 1:200 at A3



**E2** EAST ELEVATION 2  
Scale 1:200 at A3



ELEVATION 1 / SCALE 1:200 @ A1

YEAR 5 NORTH



ELEVATION 2 / SCALE 1:200 @ A1

YEAR 5 SOUTH



ELEVATION 3 / SCALE 1:200 @ A1

YEAR 5 EAST



ELEVATION 4 / SCALE 1:200 @ A1

YEAR 5 WEST



ELEVATION 1 / SCALE 1:200 @ A1

FULLY ESTABLISHED NORTH



ELEVATION 2 / SCALE 1:200 @ A1

FULLY ESTABLISHED SOUTH



ELEVATION 3 / SCALE 1:200 @ A1

FULLY ESTABLISHED EAST



ELEVATION 4 / SCALE 1:200 @ A1

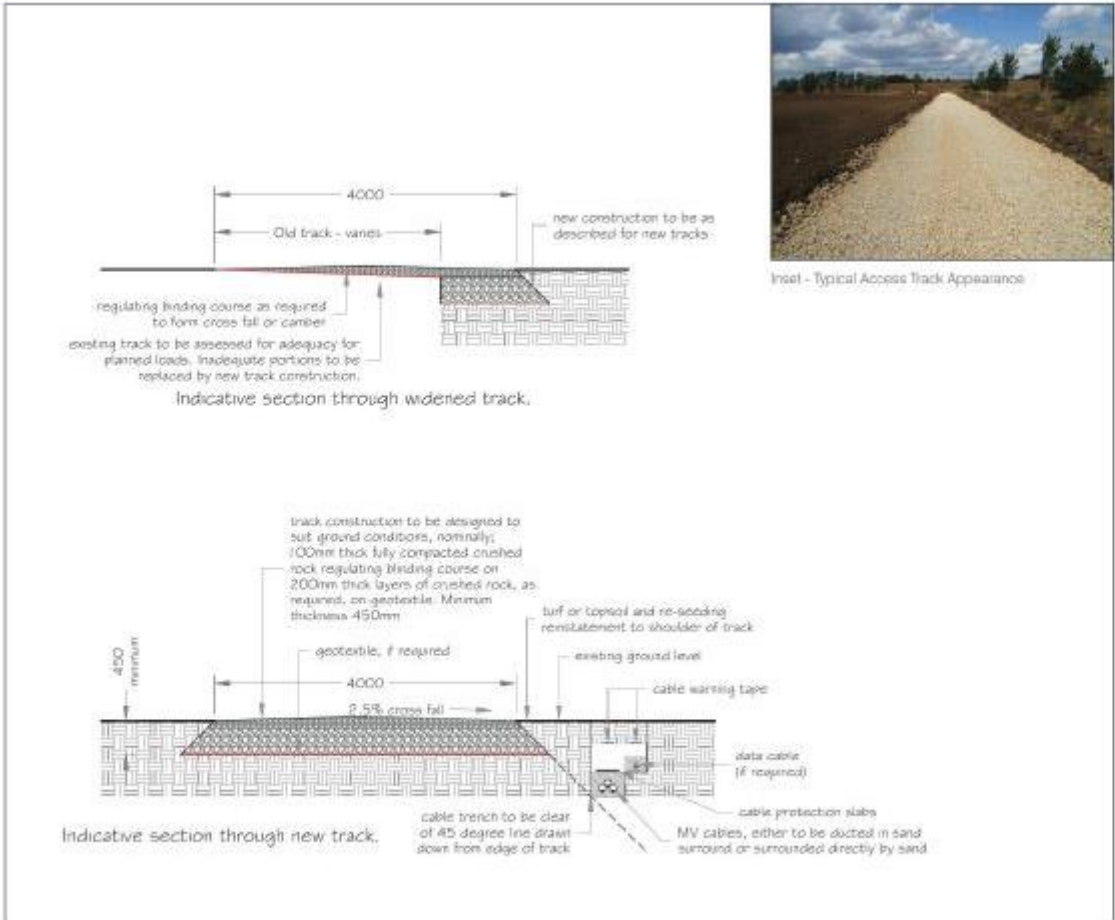
FULLY ESTABLISHED WEST



KING'S LYNN BESS

Typical Access Track Detail

Figure 12



Inset - Typical Access Track Appearance

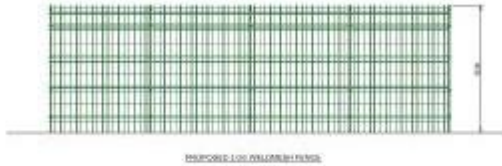
NOTES

- 1 All measurements in millimetres, unless stated otherwise.
- 2 The thickness of the gravel layer depends on the load-bearing capacity of the subsoil and must be taken from the soil expertise.
- 3 The gravel must be placed in layers and compacted. Information on this and the proctor density to be achieved can also be found in the soil report.
- 4 The required number of ductworks must be determined and can be higher than shown in the drawing.

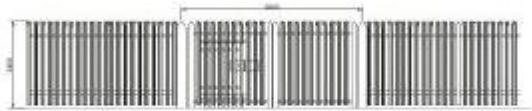
KING'S LYNN BESS

Proposed Fence and Gate  
Details

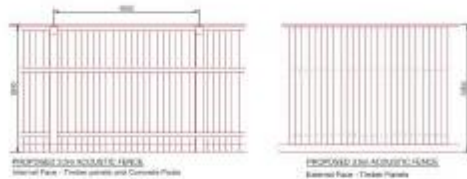
Figure 13



PROPOSED 1.0m HIGH ALUMINIUM FENCE

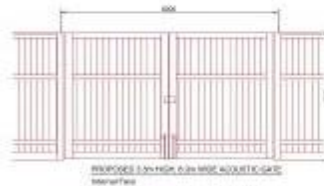


PROPOSED 1.0m HIGH ALUMINIUM STEEL COLUMN FENCE & GATE



PROPOSED 1.0m HIGH ALUMINIUM GATE  
Internal Face - Top of posts and Concrete Pads

PROPOSED 1.0m HIGH ALUMINIUM GATE  
External Face - Top of Posts



PROPOSED 1.0m HIGH ALUMINIUM ACOUSTIC GATE  
Internal Face

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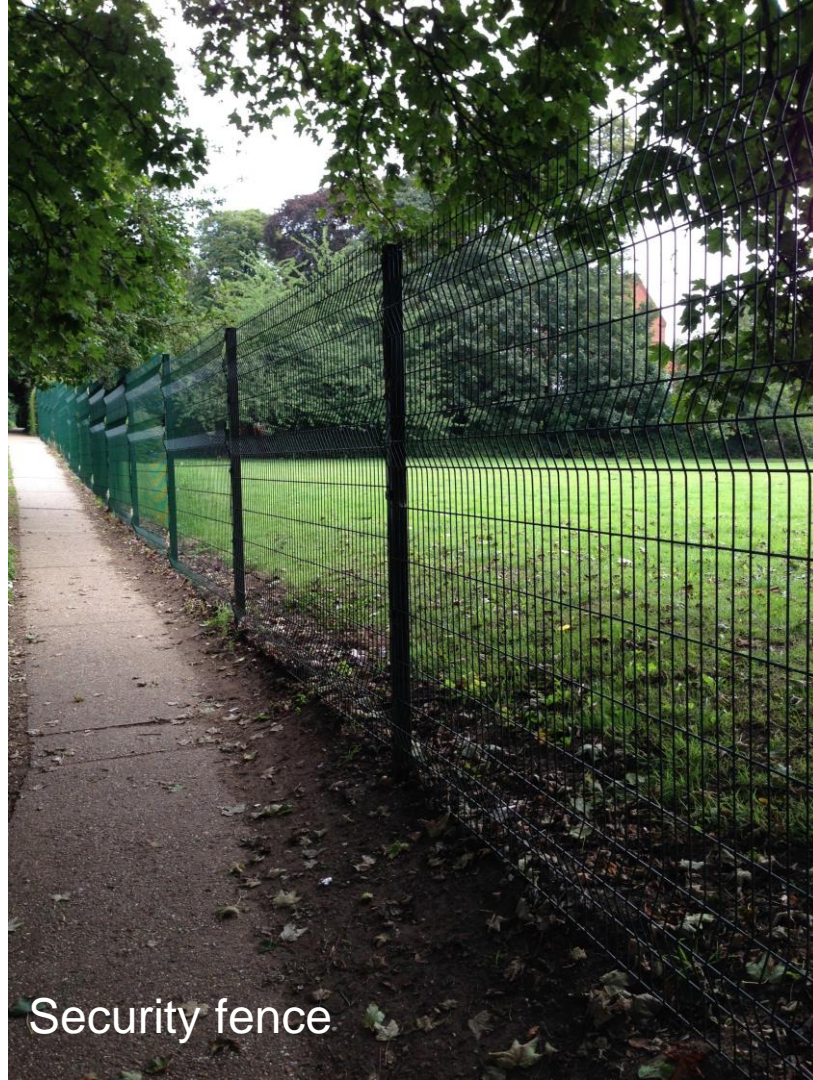
A Client of





Example of acoustic fence





Security fence







View southwards along High Road from junction with footpath



Pressure Reducing Metering Station





Nos. 1 & 2 High Road

New Farm House

View southwards from midway along footpath





Pressure Reducing  
Metering Station



View southwards of site from footpath



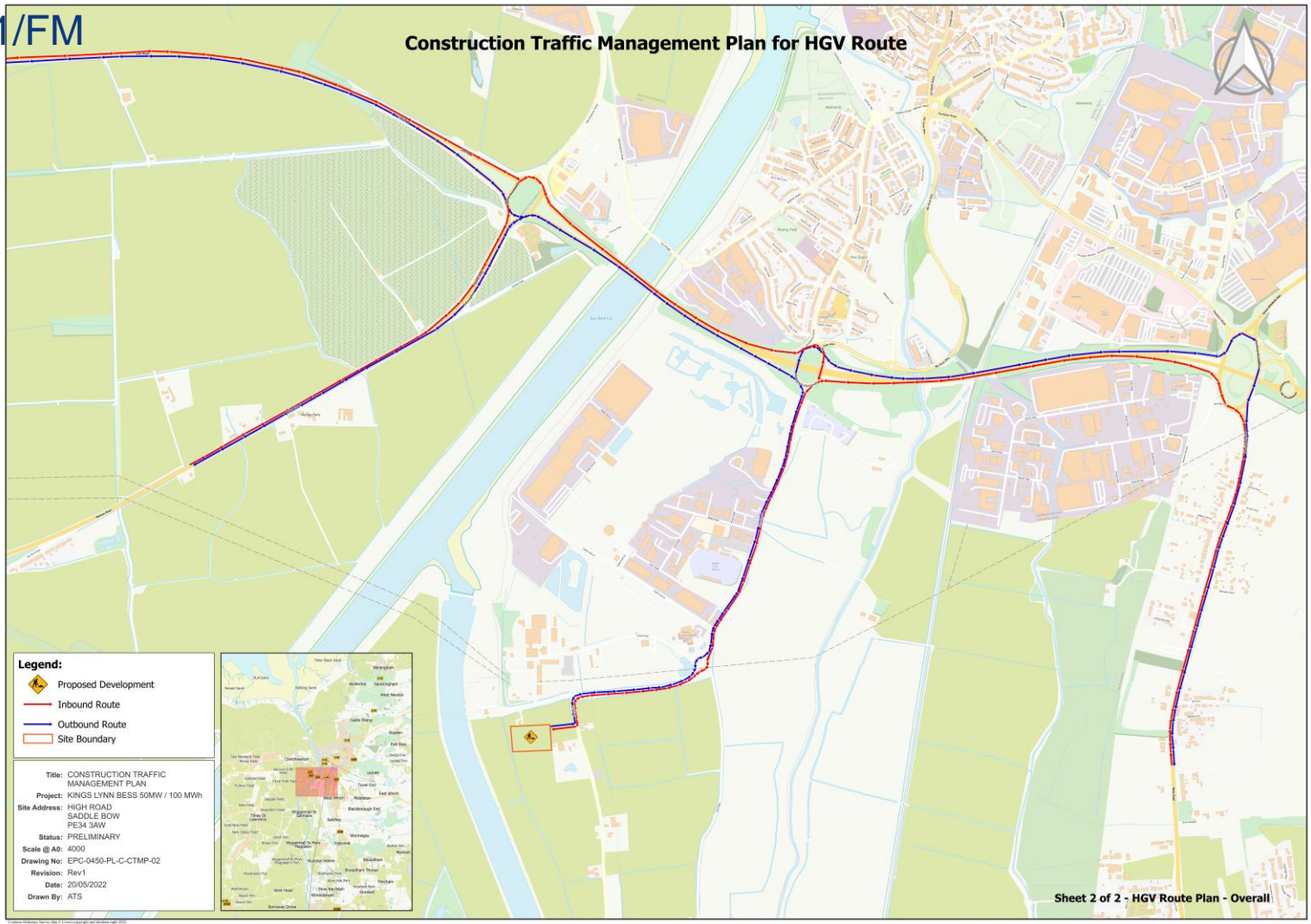




View of sub-station and Power Station to North of footpath



Construction Traffic Management Plan for HGV Route

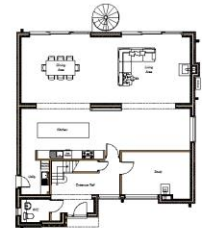


**22/02135/F**

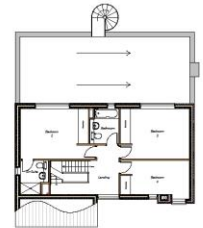




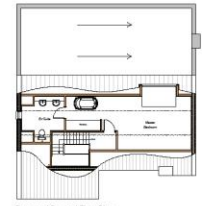
Proposed Elevations  
Scale 1:150



Proposed Ground Floor Plan  
Scale 1:100



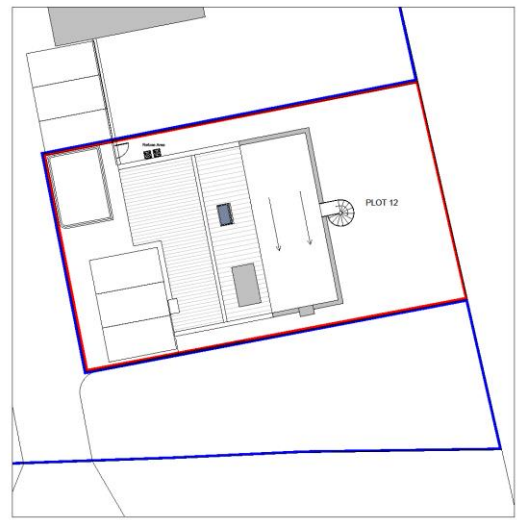
Proposed First Floor Plan  
Scale 1:100



Proposed Second Floor Plan  
Scale 1:100



Location Plan  
Scale 1:1000



Proposed Site Plan  
Scale 1:150

No.	Date	Revisions	Drawn
1	22/02/2024	Initial Design	AS

**STRATA**  
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Unit 12, Drive Street, The Green, King's Lynn, Norfolk, PE33 9JG  
Tel: 01553 823238 Fax: 01553 823239  
Email: info@strataarchitects.co.uk

Plot 12  
The Green  
King's Lynn

Title:  
Proposed Final Dwelling  
Proposed Site and Location Plan  
Proposed Floor Plans and Elevations

Scale: As Shown (GSI) Ref: 25/11/0002

Title: EA Drawing No. A

Working number: Planning

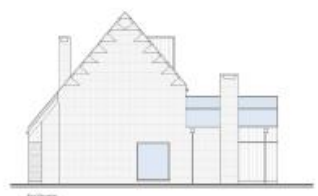
Project No: 542-11 Ref: A

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West Elevation



South Elevation



East Elevation



North Elevation



Proposed Ground Floor Plan  
Scale: 1:100



Proposed First Floor Plan  
Scale: 1:100



Proposed Second Floor Plan  
Scale: 1:100



Location Plan  
Scale: 1:1000



Proposed Site Plan  
Scale: 1:100

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Unit 1, Stone Church, Market Road  
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Tel: 01553 461238 Fax: 01553 461239  
www.strataplanning.co.uk

Project:  
Plot 12,  
The Oaken  
Hoptonborough

Type:  
Proposed New Dwelling  
Proposed Site and Layout Plan  
Proposed Floor Plans and Elevations

Client:  
Mr Steven Galt

Date:  
25/11/2022

Scale:  
SA

Drawing used for:  
Planning

542-11 C

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Views of the neighbouring property positioned to the east of the site







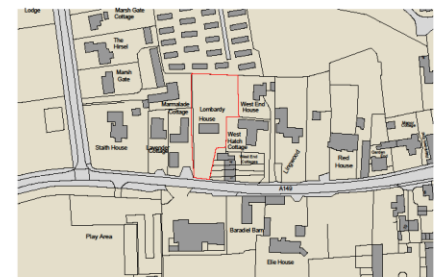
**22/01913/F**



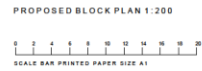


KEY TO BLOCK PLAN:

- Existing access to be upgraded. Refer to HAA.
- Red line identifies existing dwelling to be demolished.
- Proposed shared drive.
- Proposed parking area for plot 1.
- Proposed parking / turning for plot 2.
- Existing hedge to be retained.



LOCATION PLAN







**DISCLAIMER**  
 Plans are prepared by the architect on behalf of the client and are for the client's use only. The client is responsible for ensuring that the plans comply with all relevant regulations and codes. The architect accepts no liability for any errors or omissions in the plans, and the client is advised to verify all information with the relevant authorities.

**CLIENT'S NAME**  
 To be inserted by the architect's office. Acceptance and signature of the client is required for the plans to be valid.

**DATE**  
 To be inserted by the architect's office. The date of issue of the plans.

**SCALE**  
 To be inserted by the architect's office. The scale of the drawings.

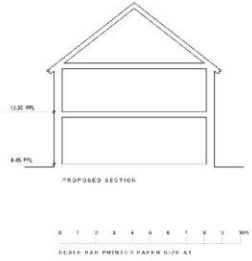
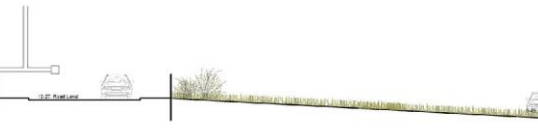
**STANDARD NOTATION**  
 To be inserted by the architect's office. The standard notation for the drawings.

**NOTES**  
 To be inserted by the architect's office. The notes for the drawings.

**DATE**  
 To be inserted by the architect's office. The date of issue of the plans.

**SCALE**  
 To be inserted by the architect's office. The scale of the drawings.

- MATERIALS KEY:**
- 1. Red Pankle
  - 2. Chalking (type to be confirmed)
  - 3. Flint wall
  - 4. Red brick



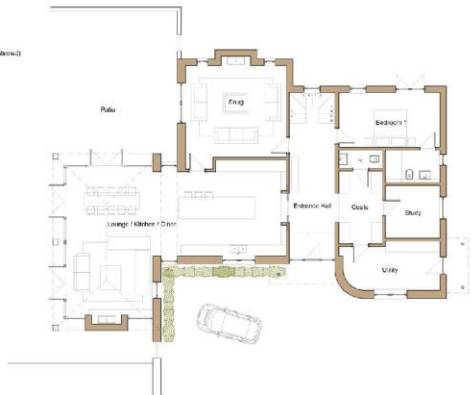


PROPOSED PLOT 2 FRONT ELEVATION



PLOT 2 PROPOSED REAR ELEVATION

- MATERIAL KEY:
- 1: Flat Parade
  - 2: Cladding (type to be confirmed)
  - 3: Flat roof
  - 4: Red brick



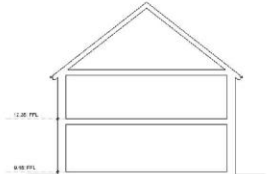
PLOT 2 PROPOSED FIRST FLOOR PLAN



PLOT 2 PROPOSED SIDE ELEVATION



PLOT 2 PROPOSED SIDE ELEVATION



PROPOSED SECTION



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- KEY TO BLOCK PLAN:**
- Existing access to be upgraded. Refer to HAA.
  - Proposed garage and carport.
  - Proposed shared drive.
  - Proposed parking area for plot 1.
  - Proposed parking / turning for plot 2.
  - Existing hedge to be retained.



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**DATE:** 01/10/2022  
**SCALE:** 1:200  
**PROJECT:** LOMBARDY HOUSE



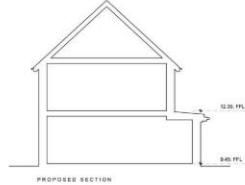
LOCATION PLAN





**DISCLAIMER**  
 Plans and elevations are the property of the Architect and shall remain his/her property. They shall not be used for any other purpose without the written consent of the Architect. The Architect shall not be responsible for any errors or omissions in the plans and elevations, or for any consequences arising therefrom. The client shall be responsible for obtaining all necessary permissions and approvals from the relevant authorities. The Architect shall not be responsible for any structural or other engineering or specialist services required for the project, or for any consequences arising therefrom. The client shall be responsible for obtaining all necessary permissions and approvals from the relevant authorities. The Architect shall not be responsible for any structural or other engineering or specialist services required for the project, or for any consequences arising therefrom.

**MATERIALS KEY:**  
 1. Red Purdie  
 2. Cladding (type to be confirmed)  
 3. Flint wall  
 4. Red brick





PROPOSED PLOT 2 FRONT ELEVATION



PLOT 2 PROPOSED REAR ELEVATION

**DISCLAIMER:** The information contained herein is for the use of the recipient only. It is not to be used for any other purpose. The recipient shall be responsible for ensuring that the information is used in accordance with the relevant laws and regulations. The recipient shall be liable for any loss or damage arising from the use of the information. The recipient shall not be held liable for any loss or damage arising from the use of the information. The recipient shall be liable for any loss or damage arising from the use of the information.

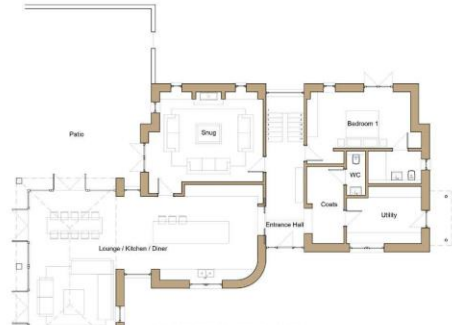
**CONTRACT:** The recipient shall be responsible for ensuring that the information is used in accordance with the relevant laws and regulations. The recipient shall be liable for any loss or damage arising from the use of the information. The recipient shall not be held liable for any loss or damage arising from the use of the information. The recipient shall be liable for any loss or damage arising from the use of the information.

**NOTES:** The recipient shall be responsible for ensuring that the information is used in accordance with the relevant laws and regulations. The recipient shall be liable for any loss or damage arising from the use of the information. The recipient shall not be held liable for any loss or damage arising from the use of the information. The recipient shall be liable for any loss or damage arising from the use of the information.

**REVISIONS:** The recipient shall be responsible for ensuring that the information is used in accordance with the relevant laws and regulations. The recipient shall be liable for any loss or damage arising from the use of the information. The recipient shall not be held liable for any loss or damage arising from the use of the information. The recipient shall be liable for any loss or damage arising from the use of the information.

**MATERIALS KEY:**

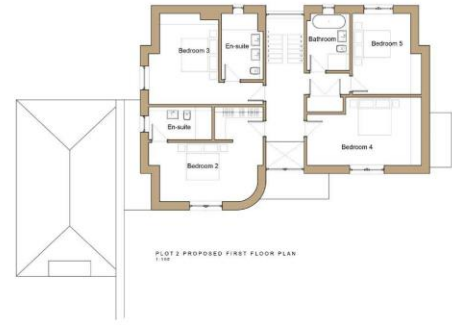
1. Red Plaster
2. Cladding (type to be confirmed)
3. Flat roof
4. Red brick



PLOT 2 PROPOSED GROUND FLOOR PLAN



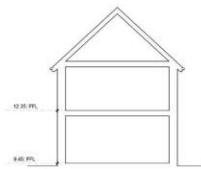
PLOT 2 PROPOSED SIDE ELEVATION



PLOT 2 PROPOSED FIRST FLOOR PLAN



PLOT 2 PROPOSED SIDE ELEVATION



PROPOSED SECTION



SCALE BAR PRINTED PAPER SIZE A1



Front elevation of Lombardy



Facing north-east towards West End Cottages







Facing north-east towards West Hatch Cottage



Facing north-west towards Marmalade Cottage



Western site boundary - Marmalade Cottage



Rear of Lombardy (and Marmalade Cottage)



Rear of Lombardy facing south-east towards West End Cottages where new driveway will be located





Rear of Lombardy – western boundary



Rear of Lombardy – north-west boundary showing commercial caravan site











Rear of Lombardy – wider eastern boundary





Street scene





Street scene facing east towards West End Cottages



Street scene facing west from West End Cottages



# END OF PRESENTATION

