



Planning Committee
Monday, 7th April, 2025 at 9.30 am
in the Assembly Room, Town Hall, Saturday Market
Place, King's Lynn PE30 5DQ

Reports marked to follow on the Agenda and/or Supplementary Documents

1. **Presentation** (Pages 2 - 178)

Contact

Democratic Services
Borough Council of King's Lynn and West Norfolk
King's Court
Chapel Street
King's Lynn
Norfolk
PE30 1EX
Tel: 01553 616394
Email: democratic.services@west-norfolk.gov.uk

Planning Committee

7 APRIL 2025

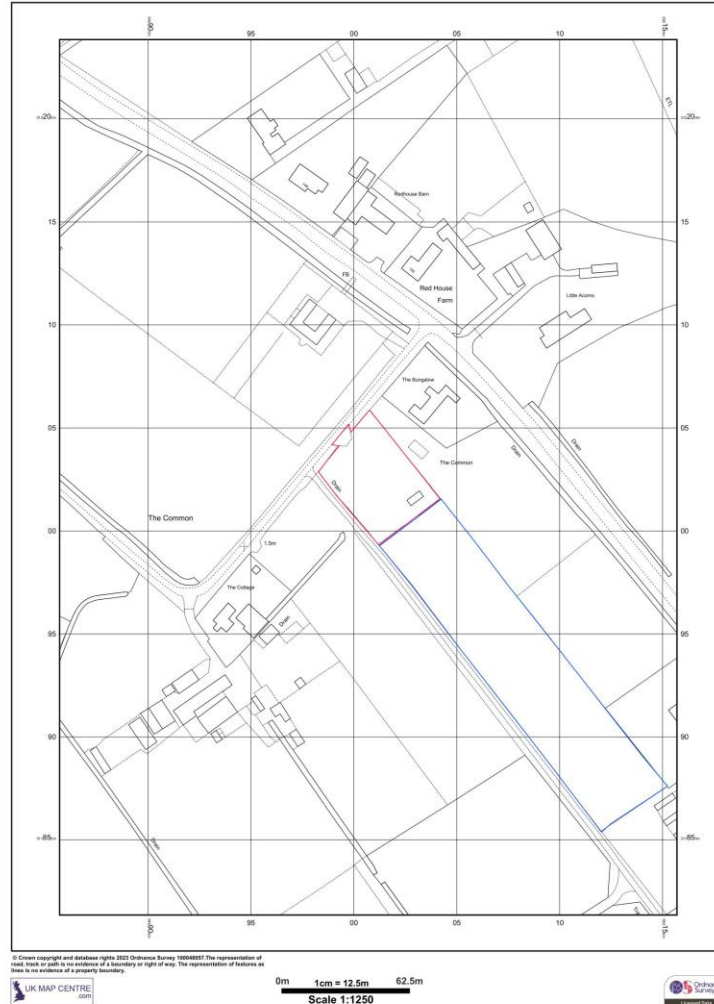
Agenda Item 9



3

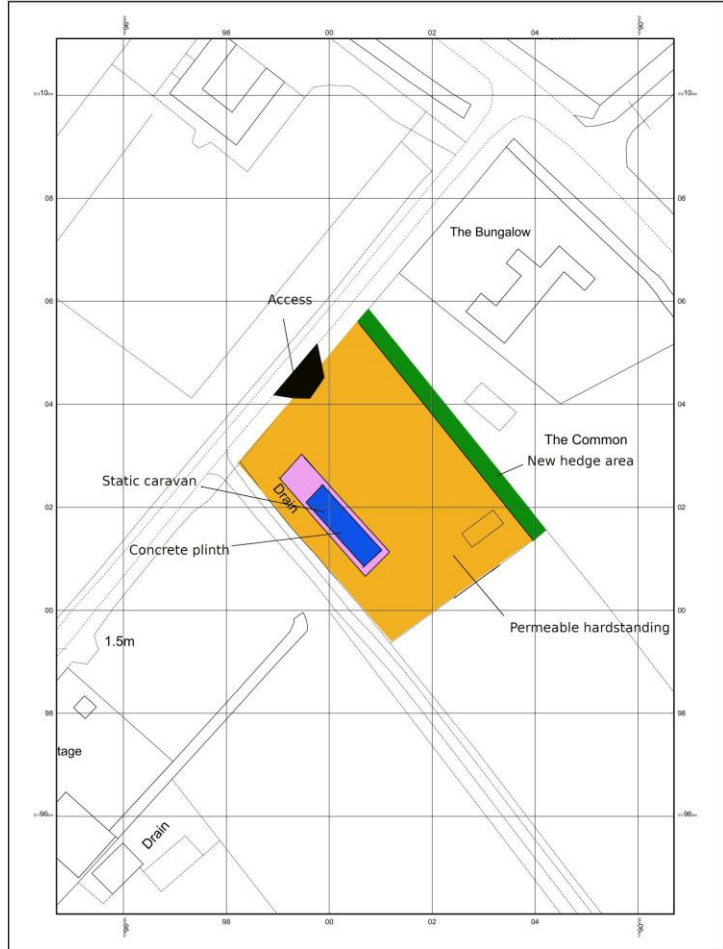
24/01561/F







5



© Crown copyright and database rights 2023 Ordnance Survey 100048881 The representation of roads, paths or paths is not evidence of a boundary or right of way. The representation of features on this is not evidence of a property boundary.



0m 1cm = 5m 25m
Scale 1:500



9



View along Common Road South (Looking southwest)

7



8



6



View along Common Road South (Looking northeast)

10



Application site



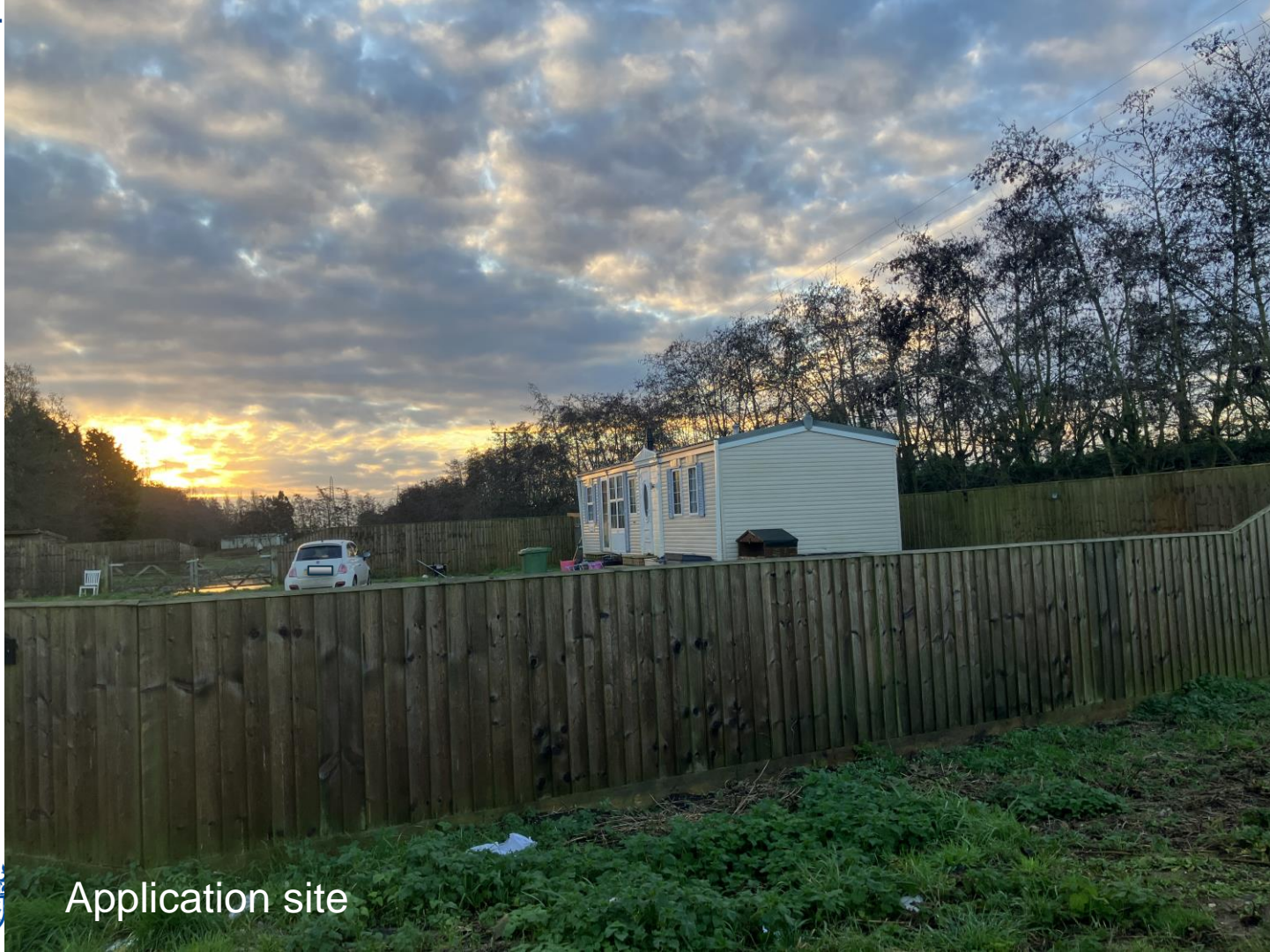
11



Application site



12



Application site



13



Application site



23/02246/F



15



Vertex Architecture
Planning • Architectural Design • Consultancy

2-3 Hargrave Farm, Hargrave, Norfolk PE36 6EX
01493 810000 • 01493 810001

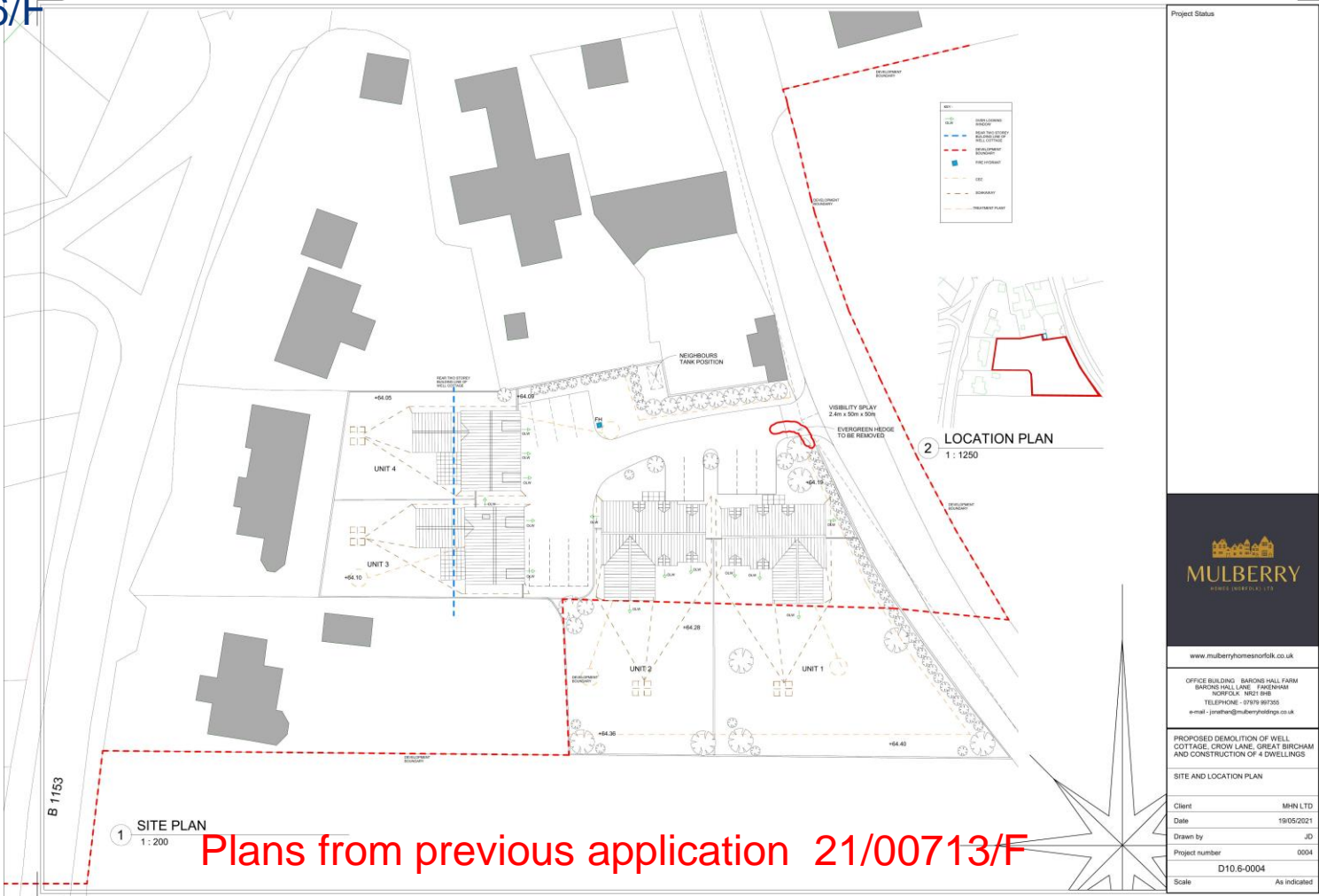
Well Cottage, Great Bircham

Four Plot Proposal

Site Plan

Date: May 23 Scale: 1:200 @ A1

Project No: 22132 Drawing No: 01





3 01 FIRST FLOOR
1 : 100



1 NORTH ELEVATION
1 : 100



2 WEST ELEVATION
1 : 100



5 SOUTH ELEVATION
1 : 100



6 EAST ELEVATION
1 : 100



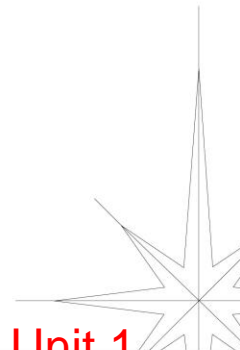
4 00 GROUND FLOOR
1 : 100



7 Section 1
1 : 100



8 Section 2
1 : 100



Project Status

MULBERRY
HOMES (NORFOLK) LTD

www.mulberryhomesnorfolk.co.uk

OFFICE BUILDING, BARONS HALL FARM
BARONS HALL LANE, TADWILHAM
NORFOLK, NG21 9BB
TELEPHONE - 07797 967355
e-mail - jprathan@mulberryholdings.co.uk

PROPOSED DEMOLITION OF WELL
COTTAGE AND CONSTRUCTION OF 4
NEW DWELLINGS

FLOOR PLANS ELEVATIONS AND
SECTIONS FOR UNIT 1

Client	MHN LTD
Date	27/05/2021
Drawn by	JD
Project number	0004
D111-0004	
Scale	1 : 100

Plans from previous application 21/00713/F - Unit 1



3 01 FIRST FLOOR
1 : 100



1 NORTH ELEVATION
1 : 100



2 EAST ELEVATION
1 : 100



5 SOUTH ELEVATION
1 : 100



6 WEST ELEVATION
1 : 100



4 00 GROUND FLOOR
1 : 100



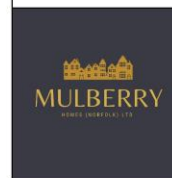
7 Section 1
1 : 100



8 Section 2
1 : 100

Plans from previous application 21/00713/F - Unit 2

Project Status



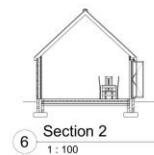
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BARONS HALL LANE, TADWILHAM
NORFOLK, NR21 9BE
TELEPHONE - 07797 997355
e-mail - jprathan@mulberryholdings.co.uk

PROPOSED DEMOLITION OF WELL
COTTAGE AND CONSTRUCTION OF 4
NEW DWELLINGS

FLOOR PLANS ELEVATIONS AND
SECTIONS FOR UNIT 2

Client	MHN LTD
Date	27/05/2021
Drawn by	JD
Project number	0004
D12.2-0004	
Scale	1 : 100



Plans from previous application 21/00713/F - Unit 3

Project Status



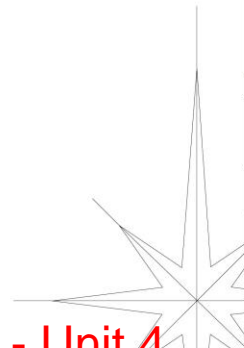
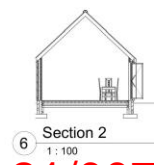
www.mulberryhomesnorfolk.co.uk

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BARONS HALL LANE, TADWILHAM
NORFOLK, NR21 9BB
TELEPHONE - 07797 997355
e-mail - j.pratt@mulberryholdings.co.uk

PROPOSED DEMOLITION OF WELL
COTTAGE AND CONSTRUCTION OF 4
NEW DWELLINGS

FLOOR PLANS ELEVATIONS AND
SECTIONS FOR UNIT 3

Client	MHN LTD
Date	01/05/2021
Drawn by	JD
Project number	0004
D13.3-0004	
Scale	1 : 100



Project Status	
 www.mulberryhomesnorfolk.co.uk	
OFFICE BUILDING - BARONS HALL FARM BARONS HALL LANE, TADWILHAM NORFOLK, NG21 9BB TELEPHONE - 07797 997355 e-mail - j.prathan@mulberryholdings.co.uk	
PROPOSED DEMOLITION OF WELL COTTAGE AND CONSTRUCTION OF 4 NEW DWELLINGS	
FLOOR PLANS ELEVATIONS AND SECTIONS FOR UNIT 4	
Client	MHN LTD
Date	01/05/2021
Drawn by	JD
Project number	0004
D14.3-0004	
Scale	1 : 100

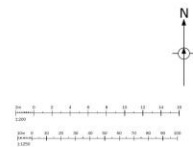
21



Proposed Site Plan 1:200



Existing Location Plan 1:1250



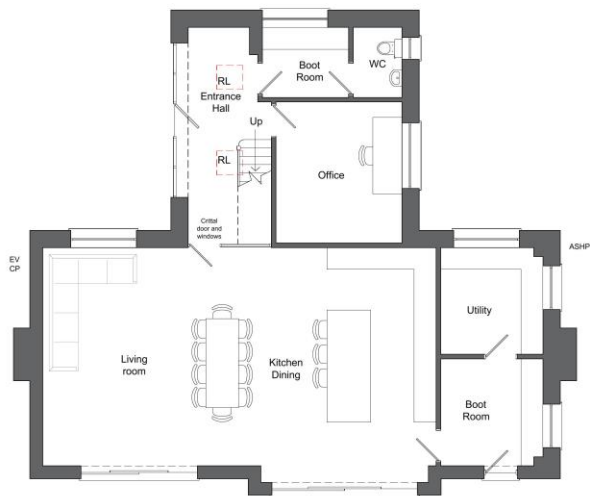
Vertex Architecture
Planning & Architectural Design & Consultancy

Welf Cottage, Crow Lane, Great Bircham
Kings Lynn, Norfolk, PE31 6GX

Project:
Proposed Residential Development
Proposed Site Plan

Date: October 2024	Scale: 1:200 & 1:1250 @ A1	
Project No: 22132	Drawing No: 02	Revision: J

22



Ground Floor Plan 1:50



First Floor Plan 1:50



North Elevation 1:100

West Elevation

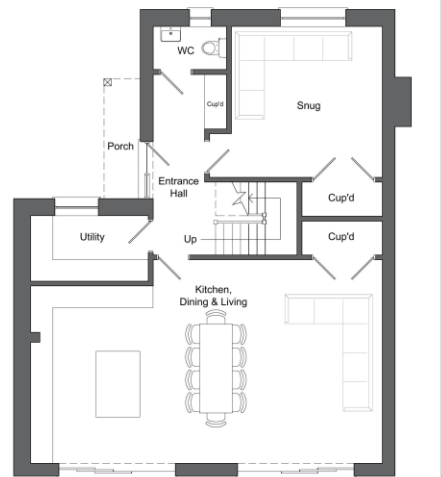
South Elevation

East Elevation

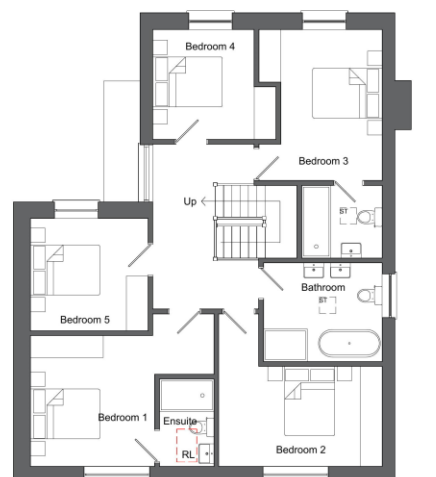
Materials
Red brick
Slate tiles
Timber cladding



23

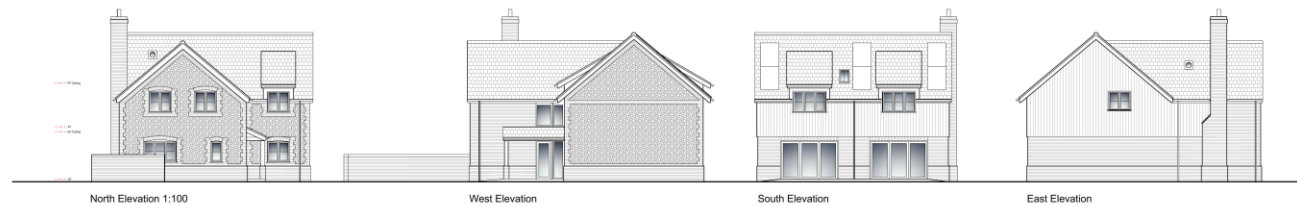


Ground Floor Plan 1:50



First Floor Plan 1:50

Materials
Red brick
Slate tiles
Timber cladding
Lead dormer



Borough Council of
**King's Lynn &
West Norfolk**

<p>Vertex Architecture Planning • Architectural Design • Consultancy</p>	
<p>2-3 Northgate Street, King's Lynn, Norfolk PE31 6BX 01553 812345 • 01553 812346 • 01553 812347</p>	
<p>Project: Well Cottage, Crow Lane, Great Bircham King's Lynn, Norfolk, PE31 6GX</p>	
<p>Subject: Proposed Residential Development Proposed Plans & Elevations - Plot 2</p>	
<p>Date: August 2024</p>	<p>Scale: 1:50 & 1:100 @ A1</p>
<p>Project No: 22132</p>	<p>Drawing No: 05</p>
<p>Revised: 1</p>	

The floor plan shows a house with the following rooms and features:

- Dining:** Contains a rectangular dining table and four chairs.
- Kitchen:** Contains kitchen units, a sink, and a stove.
- Utility Boot Room:** Located between the Kitchen and the Study.
- Study:** A room with a desk and chair.
- WC:** A toilet room.
- Entrance Hall:** The central area with a door leading to the Porch and a staircase labeled "Up".
- Living Room:** A large room with a fireplace and a large window.
- Porch:** An outdoor area accessible from the Entrance Hall.

Architectural drawing of a house with a chimney and dormers. The drawing shows a cross-section of the roof and the front facade. The roof is gabled with a chimney on the right side. There are three dormers on the roof, each with a window. The front facade features a central entrance with a small porch and two windows on either side. The drawing is labeled with dimensions: 10' 0" x 10' 0" (10' 0" x 10' 0") and 10' 0" x 10' 0" (10' 0" x 10' 0").

Materials
Red brick
Slate tiles
Lead Dormer



Borough Council of
**King's Lynn &
West Norfolk**

25



View of application site from driveway facing west

26



Eastern elevation of existing dwelling (now demolished)

27



North-east elevation of existing dwelling



28



Facing eastwards from driveway



29



30



Western boundary



31



Neighbouring dwelling to west

32



Neighbouring dwelling to south-west



33



Western boundary facing northwards



34



Northern boundary



35



South (rear) elevation of existing dwelling



36



Southern elevation



37



38



Southern site boundary



39



South-eastern site boundary



40



41



North-east site boundary

42



North-east of site



4.3



Facing eastwards along driveway towards existing access

44



45



46



47

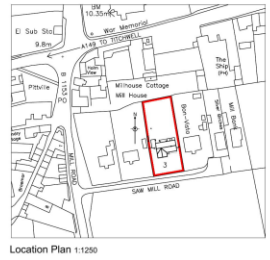
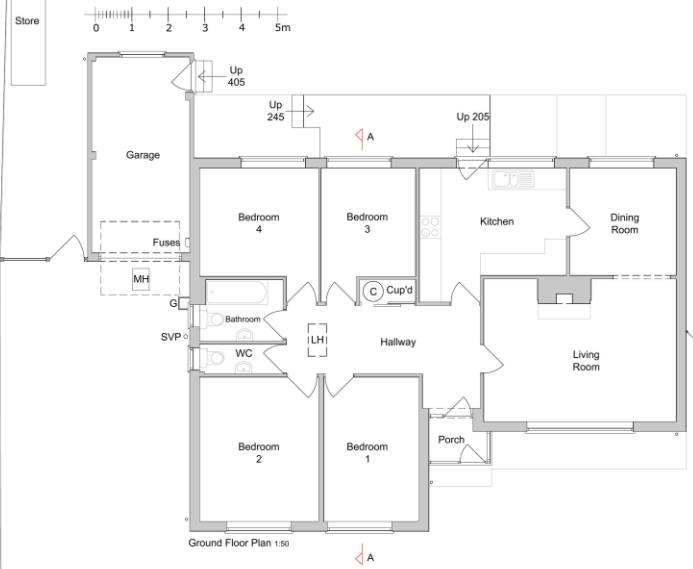
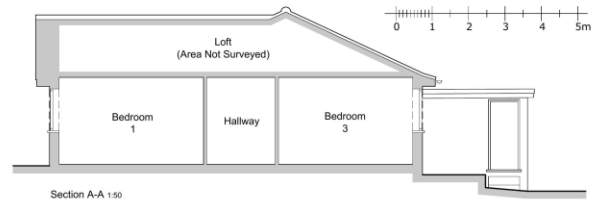
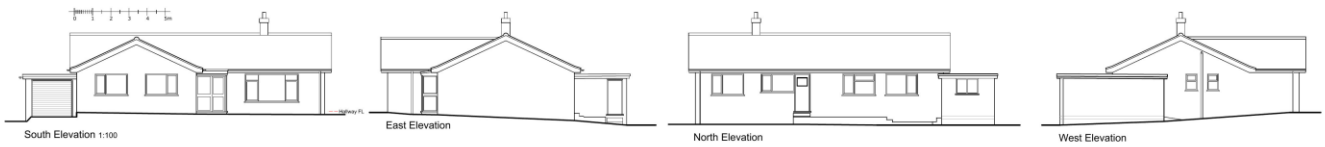


Context of site facing southwards along Crow Lane



24/01167/F





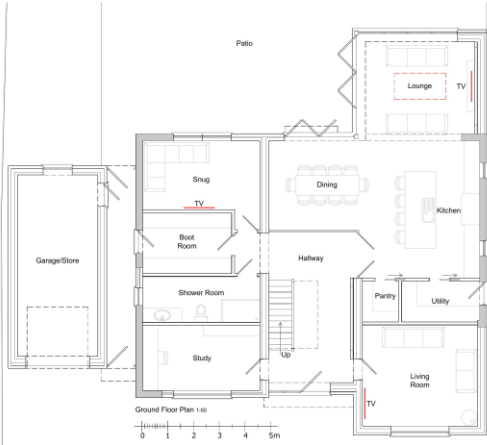
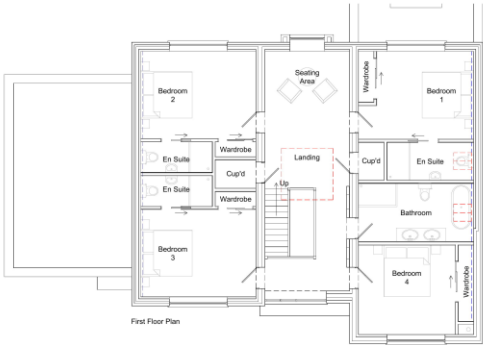


Vertex
Architecture

Working in partnership with design & consultancy

Project: 3 Saw Mill Road, Brancaster King's Lynn, Norfolk, PE31 8AJ	
Brief: Extension & Alterations to Dwelling Existing Plan, Elevations, Section & Site	
Date: June 2024	Scale: 1:50, 1:100, 1:200 & 1:1250 @ A1
Project No: 24017	Drawing No: 01
Revision: A	

50



Vertex Architecture
Architects & Interior Designers

15 Elm Hill Road, Broomfield,
King's Lynn, Norfolk, PE31 5AJ

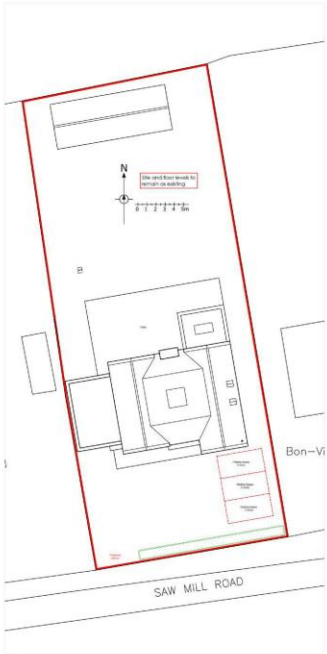
Extension & Alterations to Dwelling
Proposed First Floor Plans

August 2024

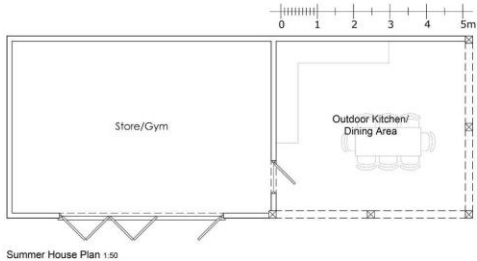
Project: 24017
Date: 02
Sheet: H



51



Site Plan 1:200



Summer House Plan 1:50



Materials to be:

- Buff brickwork
- Flint infill
- Natural timber cladding
- Off-white render
- Zinc cladding
- Aluminium windows & doors

Vertex Architecture
Planning · Architectural Design · Conservation

100@vertexarchitecture.co.uk
01323 800000
3 Saw Mill Road, Brancaster
Kings Lynn, Norfolk, PE31 8AJ

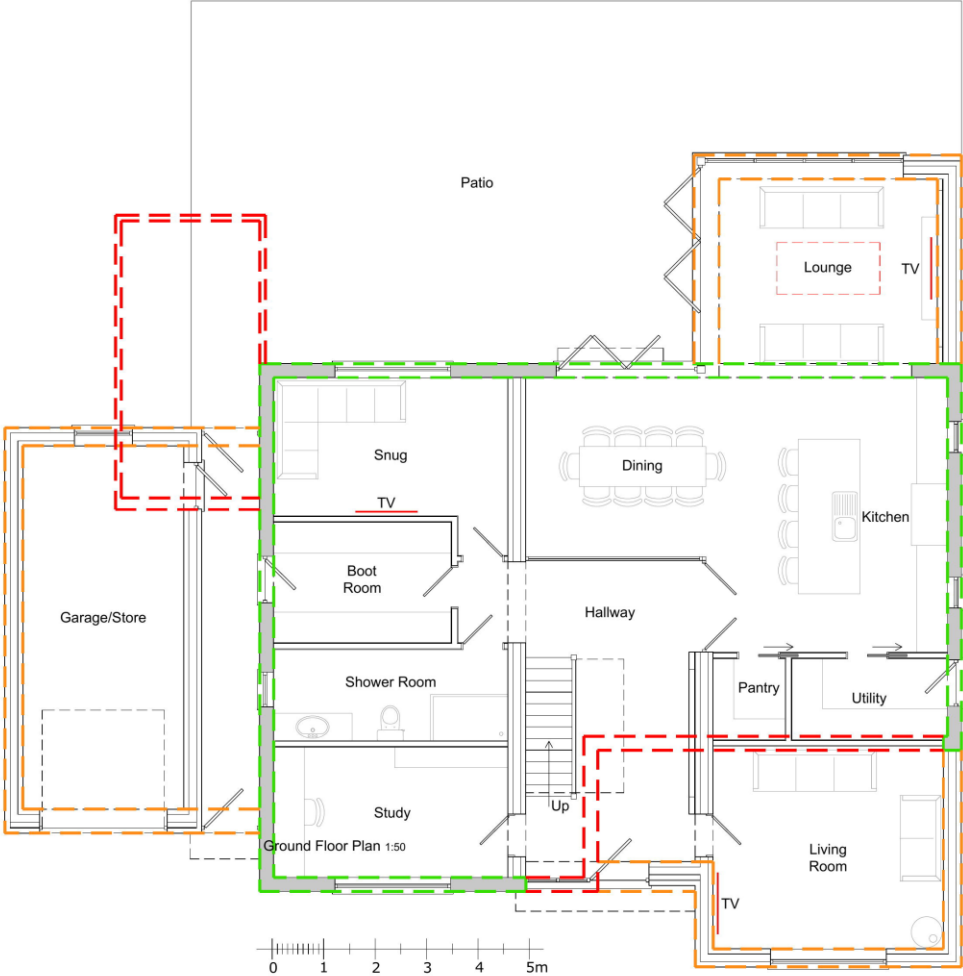
Project:
Extension & Alterations to Dwelling
Proposed Elevations, Sun Room & Site

Date:
October 2024

Scale:
1:50, 1:100, 1:200
@ A1

Revision:
24017 03 H

52



Draw	Revision	Description
 Vertex Architecture Planning • Architectural Design • Consultancy <small>01493 551100 • 01493 551101 • 01493 551102 • 01493 551103</small>		
<small>info@vertexarchitecture.co.uk 2 • 3 Northgate Place, Hunstanton, Norfolk PE26 6EA 10 Queen Street, Norwich, Norfolk NR2 4SD</small>		
Project: 3 Saw Mill Road, Brancaster Kings Lynn, Norfolk, PE31 8AJ		
Subject: Extension & Alterations to Dwelling Demolition Plan		
Date: January 2025	Scale: 1:50 @ A2	Revision:
Project No: 24017	Drawing No.: 04	

53



South (front) elevation of existing dwelling

54



Facing eastwards along Saw Mill Road from site access

55



South-west (front) elevation and boundary



West elevation and neighbouring dwelling



Neighbouring property No. 2



Neighbouring property No.2

59



North (rear) elevation

09



North boundary



61



62



West boundary from rear of site

63



64



Eastwards along Saw Mill Road showing adjacent development at Sawyers Yard



65



View southwards from the site towards Saw Mill Road
and adj. development

65



24/01970/F



68

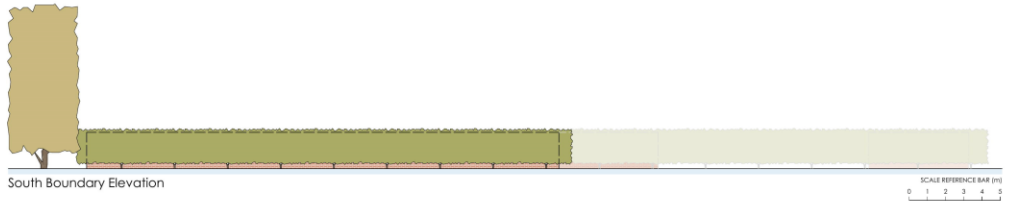
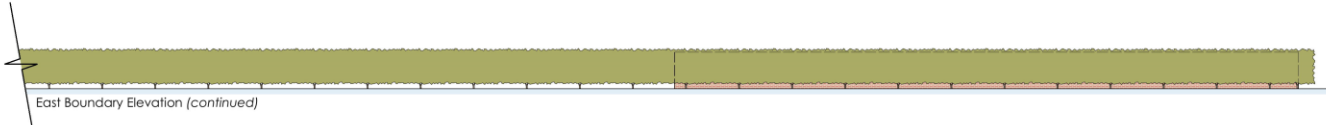


69



70



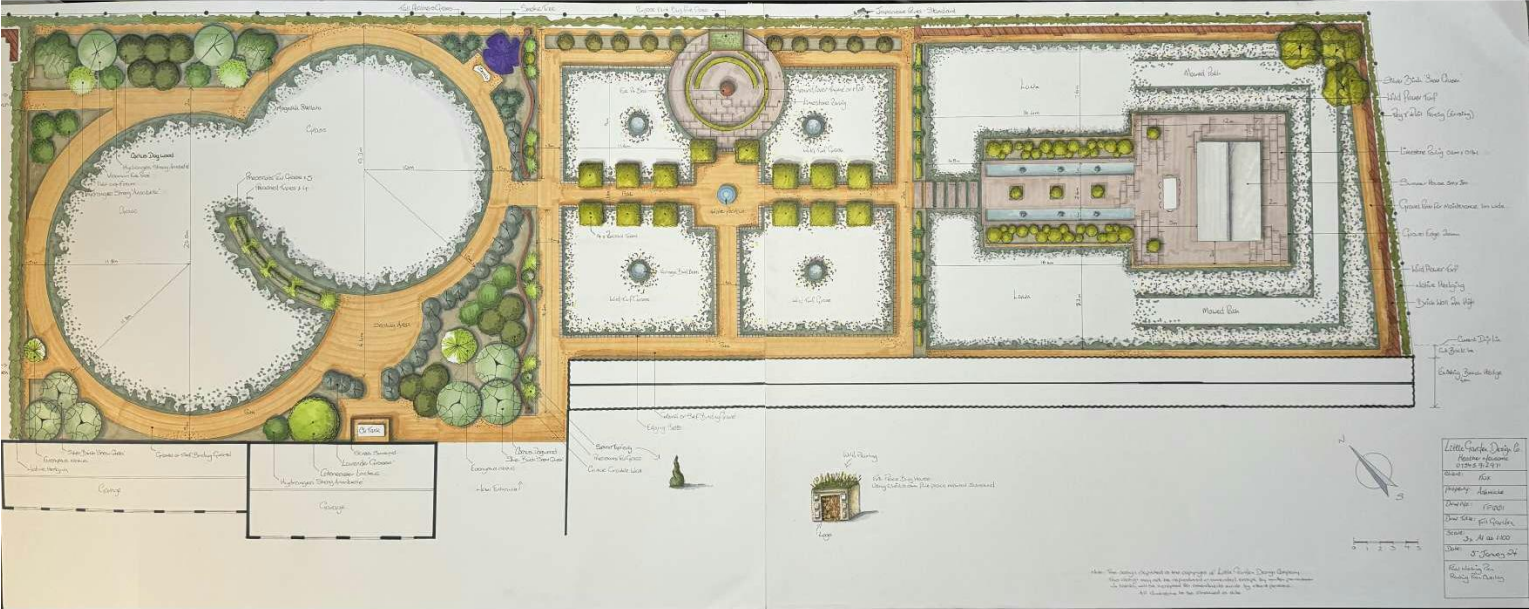


71

Revisions		Notes	
		1. The copyright of this drawing is the property of Ian H Bix Associates Ltd and must not be copied without their consent.	
		2. Measurements to be checked on site by the Contractor prior to construction. It is the Contractor's responsibility to ensure that the dimensions of the design are followed.	
		Project Proposed Change of use of Agricultural Farmland to Residential Garden Land Ashwicken Hall Ashwicken	
		Drawing Title Proposed Boundary Elevations	
		Scale 1:100 @ A1	
		Date May 2024	
		Drawn AW	
		Drawing No. 2614-04	

IAN · H · BIX
Associates Ltd
M · C · E · A · T
**ARCHITECTURAL AND
BUILDING CONSULTANTS**
SANDPiper HOUSE, LEEDS WAY, WEST NORFOLK
NORWICH, NORFOLK, NR21 3JF
TEL: 01553 844577 FAX: 01553 844578
EMAIL: info@ianhbx.co.uk WEB: www.ianhbx.co.uk

72



73



74



75





Application site eastern boundary



Application site facing southwards showing existing boundary



North-east site boundary



North site boundary



Facing north-westwards within site



Facing west from application site



Facing south-west from application site



Facing south-west from application site



Facing south from application site

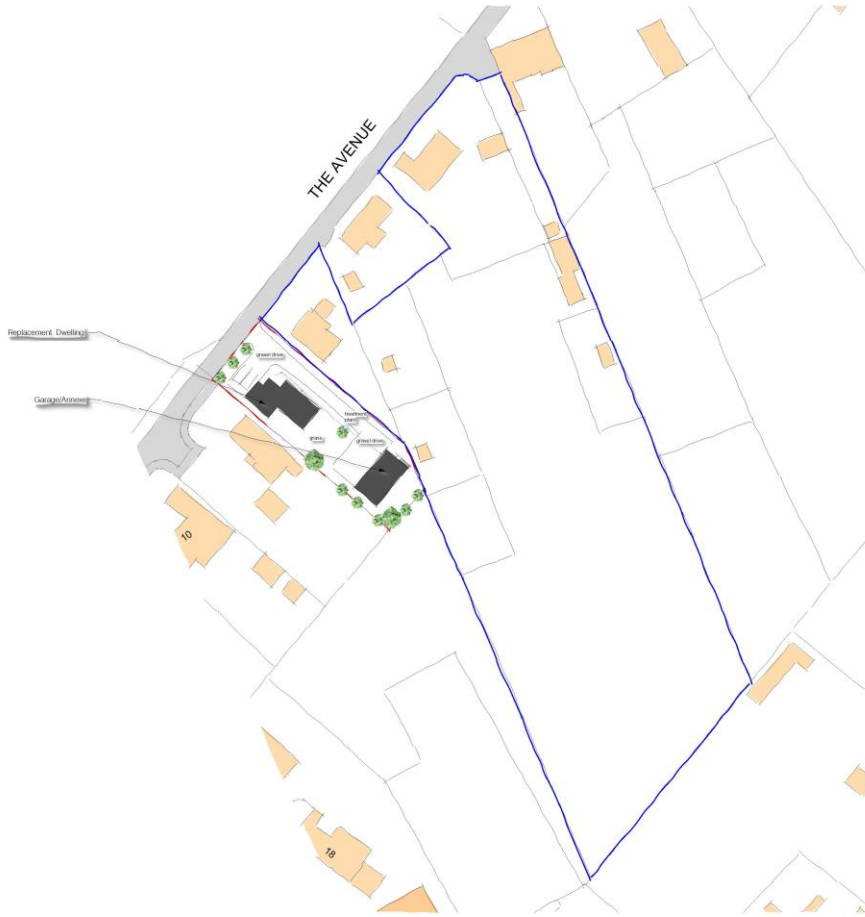


Existing western boundary

24/02190/F



87



3 Proposed Site Plan
Scale: 1:200



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REV	DATE	BY

REV	DATE	BY	
1	24/02/2024	Replacement Dwelling	401
2	24/02/2024	Garage/Annexe	402
3	24/02/2024	Garage/Annexe	403

PLANNING

Not intended for construction. It is intended to be used for planning purposes only. It is not intended to be used for any other purpose.

Clayland architects

The Clay House, Limited Gardens
Limited House, Limited Gardens
Limited House, Limited Gardens
info@claylandarchitects.co.uk www.claylandarchitects.co.uk

COMMITTEE

Replacement Dwelling
14 The Avenue
Brookville
Norfolk

DRAWING TITLE

Proposed Site Plan



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REV	DATE	REVISION

1	10/01/2024	Garage annex position altered	001
2	10/01/2024	Final	002

PLANNING

AN OFFICIAL OF NOTIFICATION TO THE LOCAL AUTHORITY
FOR THE PURPOSES OF THE PLANNING ACT 1990

clayland architects

The Glass House, Lyndal Gardens,
Lynnhall Road, Norwich, Norfolk, NR3 1TH
info@claylandarchitects.co.uk www.claylandarchitects.co.uk

PROPOSED
Replacement Dwelling
14 The Avenue
Norwich

PROPOSED
Proposed Site Plan

NO.	DATE	REVISED	BY
1	10/01/2024	A1	02
2	10/01/2024	A1	02

APPROVED
22/03

THE WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME

68



06/01 FRONT (NW) ELEVATION
Scale: 1:50



06/04 SIDE (SW) ELEVATION
Scale: 1:50



07/01 REAR (SE) ELEVATION
Scale: 1:50



07/04 SIDE (NE) ELEVATION
Scale: 1:50



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DATE	REV	BY

Brick: Weinerberger, Oakington
Colour: Buff

Roof Tiles: Imerys, Panné S
Colour: Slate Grey

Render
Colour: Off White

Windows / Doors / Fascias / Soffits: uPVC
Colour: Anthracite Grey

1	Proposed	Additional roof lights added	END
2	Existing	Existing roof lights removed	END
3	Existing	Existing roof lights removed and replaced with new	END
4	Existing	Existing roof lights removed and replaced with new and additional added	END
5	Existing	Existing roof lights removed and replaced with new and additional added	END

PLANNING

Clayland architects

The Glass House, Lymington Gardens
Lymington Road, Mundford, Norfolk, IP26 3DQ
01263 820000
www.claylandarchitects.co.uk

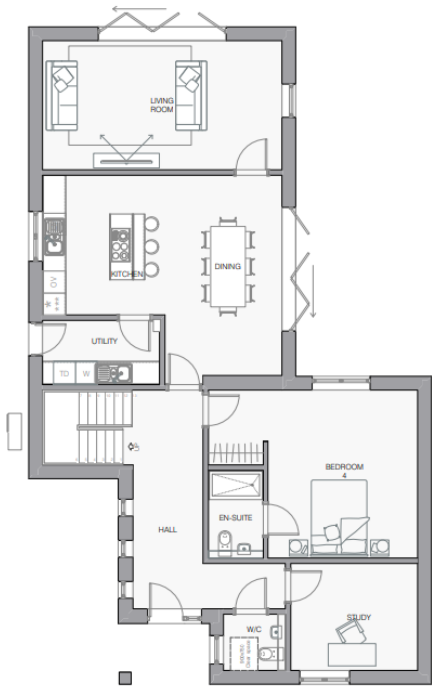
CONTACT:
Restaurant Dwellings
14 The Avenue,
Brookville,
Thurford,
Norfolk, IP26 4HF

Drawings: 11/14
PROPOSED ELEVATIONS

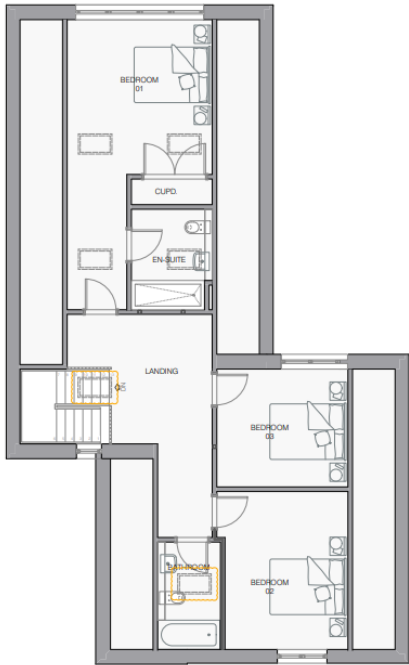
SCALE: 1:50	PAPER SIZE: A1	DRAWING NUMBER: 04	REVISION: B
DATE: 11/14	REVISED: 04	BY: 04	BY: B
DESIGNED BY: 04	CHECKED BY: 04	DATE: 11/14	DATE: 11/14
APP. NUMBER: 2233	CHECKED: 2233	DATE: 11/14	DATE: 11/14

THE ABOVE SHEET APPROVES CONFORMITY OF BUILDING

06



03 GROUND FLOOR PLAN
Scale: 1:50



04 FIRST FLOOR PLAN
Scale: 1:50

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NO	DATE	DESCRIPTION
01	15/01/24	ISSUED FOR PERMIT

01	15/01/24	ISSUED FOR PERMIT
02	15/01/24	ISSUED FOR PERMIT

PLANNING

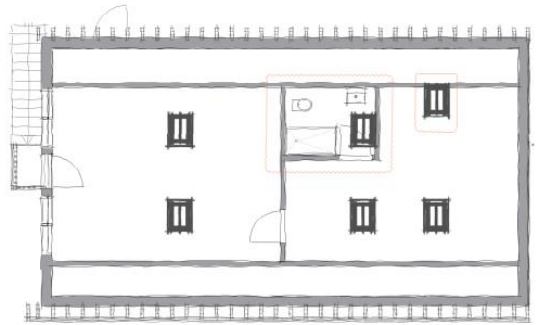
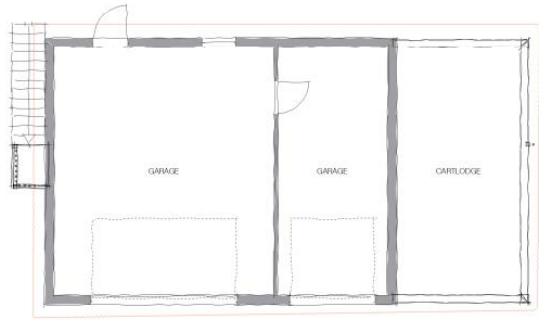
Clayland architects
The Glass House, Lynton Gardens
Lynton Road, Mundford, Norfolk, IP26 3JH
01493 840000 / 01493 840001 / 01493 840002

Contract:
Replacement Dwelling
14 The Avenue,
Brookville,
Thetford,
Norfolk, IP26 4HF

DRAWN BY: T112
PROPOSED FLOOR PLAN

DATE	TIME	PROJECT NO.	DRAWING NUMBER	REVISION
15/01/24	11:00	24/00302/F	A1 03	B
DESIGNED BY				
CHECKED BY				
CLIENT APPROVED				
2233				

THE CLIENT HEREBY APPROVES CONSENT ACCEPTANCE OF REVISIONS



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REV	DATE	DETAILS	BY

Brick: Weimerberger, Oakington
Colour: Buff

Cladding: Timber weatherboard cladding
Colour: Black

Roof Tiles: Imerys, Pannu S
Colour: Slate Grey

Windows / Doors / Fascias / Soffits: uPVC
Colour: Anthracite Grey

REV	DATE	DETAILS	BY

PLANNING

an outline of the proposed development is shown on the attached site plan.

Clayland architects

The Clay House, Lynford Gardens
Lynford Road, Mundesley, Norfolk, NR25 3JH
info@claylandarchitects.co.uk www.claylandarchitects.co.uk

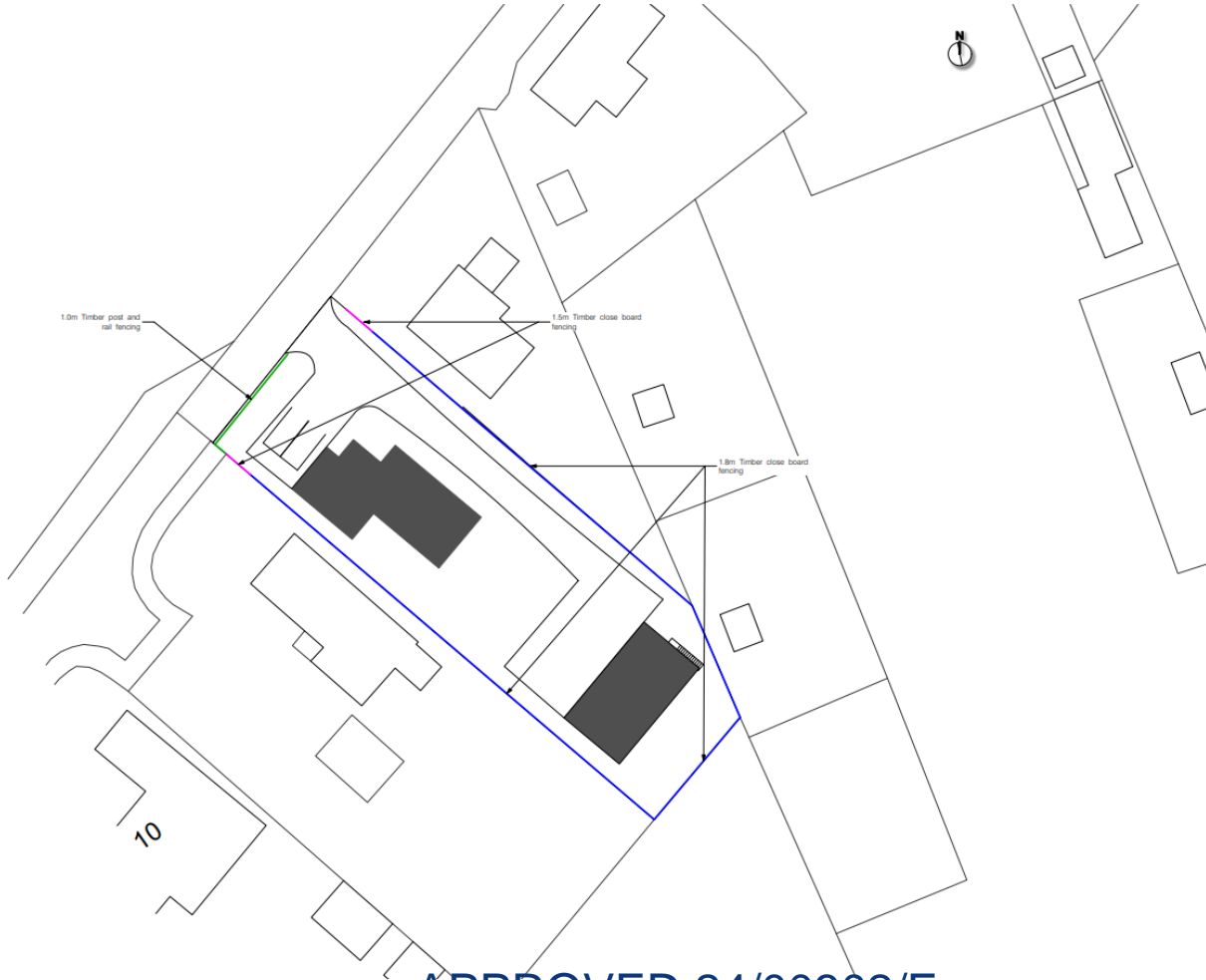
PROPOSITION
Replacement Dwelling
at The Annex
Brookville
Norfolk

DRAWING TITLE
Garage Plans

NO.	DATE	REVISION	BY
06	24/03/23	A	

2233

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Any construction work shall not prior to receiving all necessary approvals in writing at the client site.

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1.8m	1.0m	0.5m
1.8m	1.0m	0.5m

- KEY
- 1.8m Timber Close board fencing
 - 1.0m Timber close board fencing
 - 1.0m Timber post and rail fencing

1.8m Timber Close board fencing

1.0m Timber close board fencing

1.0m Timber post and rail fencing

PLANNING

any details or variations to the drawings shall be submitted to the planning authority in writing to the client architects.

Clayland architects

The Glass House, Lynton Gardens
Lynton Road, Mundford, Norfolk, IP20 9SH
info@claylandarchitects.co.uk www.claylandarchitects.co.uk

Contract:
Replacement Dwelling
14 The Avenue
Brookville
Norfolk

DRAWING TITLE			
Fencing Plan			
SCALE	PROJECT CODE	DRAWING NUMBER	REVISION
DATE: 20/02/2024	A1	07	B
DRAWN BY: JEN NUMBER: 2233	CHECKED:	CLIENT APPROVED:	
THIS DRAWING IS THE PROPERTY OF CLAYLAND ARCHITECTS			



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Any construction work carried out prior to receiving all necessary approvals is at the client's risk.

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REV	DATE	REVISION	BY

06



07 04 REAR (SE) ELEVATION Scale: 1:50

09 04 SIDE (NE) ELEVATION Scale: 1:50

06 04 FRONT (NW) ELEVATION Scale: 1:50

08 04 SIDE (SW) ELEVATION Scale: 1:50

PLANNING

CLAYLAND ARCHITECTS

The Glass House, Lifford Gardens
Lifford Road, Norwich, Norfolk NR4 6JG
info@claylandarchitects.co.uk www.claylandarchitects.co.uk

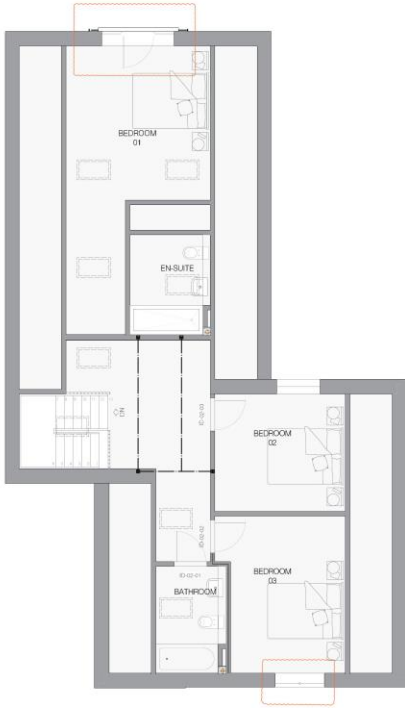
CONTRACT
Replacement Dwelling
14 The Avenue,
Brookville,
Thetford,
Norfolk IP26 4RF

DRAWING TITLE
ELEVATIONS

94



1 GROUND FLOOR PLAN
Scale: 1:50



2 FIRST FLOOR PLAN
Scale: 1:50

DO NOT SCALE FROM THIS DRAWING

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REV	DATE	REVISION	BY

IF CIRCLED, alterations in accordance with planning officers comments

REV	DATE	REVISION	BY

PLANNING

FOR CIRCLED, alterations in accordance with planning officers comments

CLAYLAND architects

The Glass House, Lintell Gardens
Lynwood Road, Norwich, Norfolk IP20 9JG
info@claylandarchitects.co.uk www.claylandarchitects.co.uk

CONTACT
Replacement Dwelling
14 The Avenue,
Brookville,
Thetford,
Norfolk, IP26 4RF

DRAWN BY
FLOOR PLANS

SCALE: 1:50

DATE: 15/03/2024

PROJECT NO: 22033

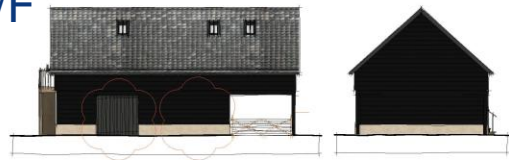
DESIGNER: A1

DATE: 15/03/2024

REVISION: 03

STATUS: E

THE ABOVE SHOWN APPROVED COMPANY ACCEPTANCE OF THESE DRAWINGS



10 Front
Scale: 1:100

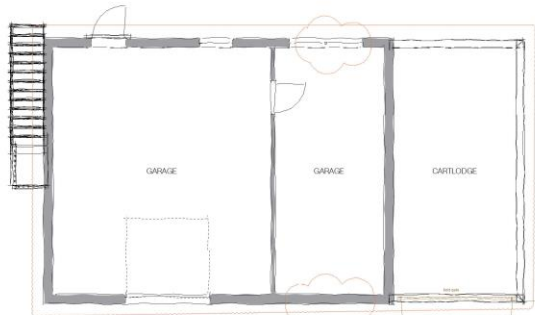
11 Side
Scale: 1:100



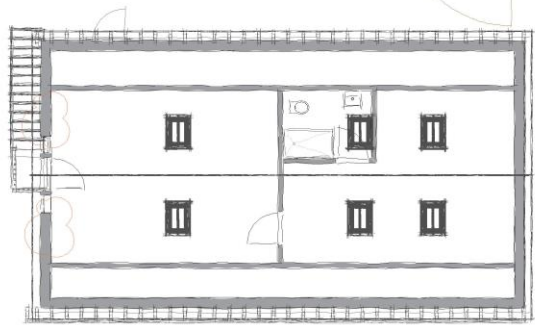
12 Rear
Scale: 1:100



13 Side
Scale: 1:100



9 Ground Floor (Garage) Plan
Scale: 1:50



15 First Floor (Annexe) Plan
Scale: 1:50



14 Perspective Sketch
Scale: 1:100



16 Roof Plan
Scale: 1:100

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This drawing is a plan and must not be scaled except where indicated by drawing instructions. All new and existing dimensions and levels shown on the drawing to be checked prior to construction of work and any discrepancies to be reported to Claxland Architects.

Any construction work cannot start prior to receiving all necessary approvals in writing of the above site.

This drawing is the copyright of Claxland Architects and shall not be or any way used, reprinted or reproduced without their prior written consent.

NO.	DATE	REVISION	BY

Brick: Weinerberger, Oakington
Colour: Buff

Cladding: Timber weatherboard cladding
Colour: Black

Roof Tiles: Imerys, Parne S
Colour: Slate Grey

Windows / Doors/ Fascias/ Soffits: uPVC
Colour: Anthracite Grey

CLAXLAND ARCHITECTS shown updated

NO.	DATE	REVISION	BY

PLANNING

Claxland architects

The Glass House, Lombard Gardens
Lynwood Road, Mansfield, Norfolk, NR10 3JG
info@claxlandarchitects.co.uk www.claxlandarchitects.co.uk

CONTRACT
Replacement Dwelling
14 The Avenue
Stockville
Norfolk

APPROVALS
Garage Plans

SCALE: 1:100

DATE: 2023/03/06

DESIGNED BY: 06

DRAWN BY: 06

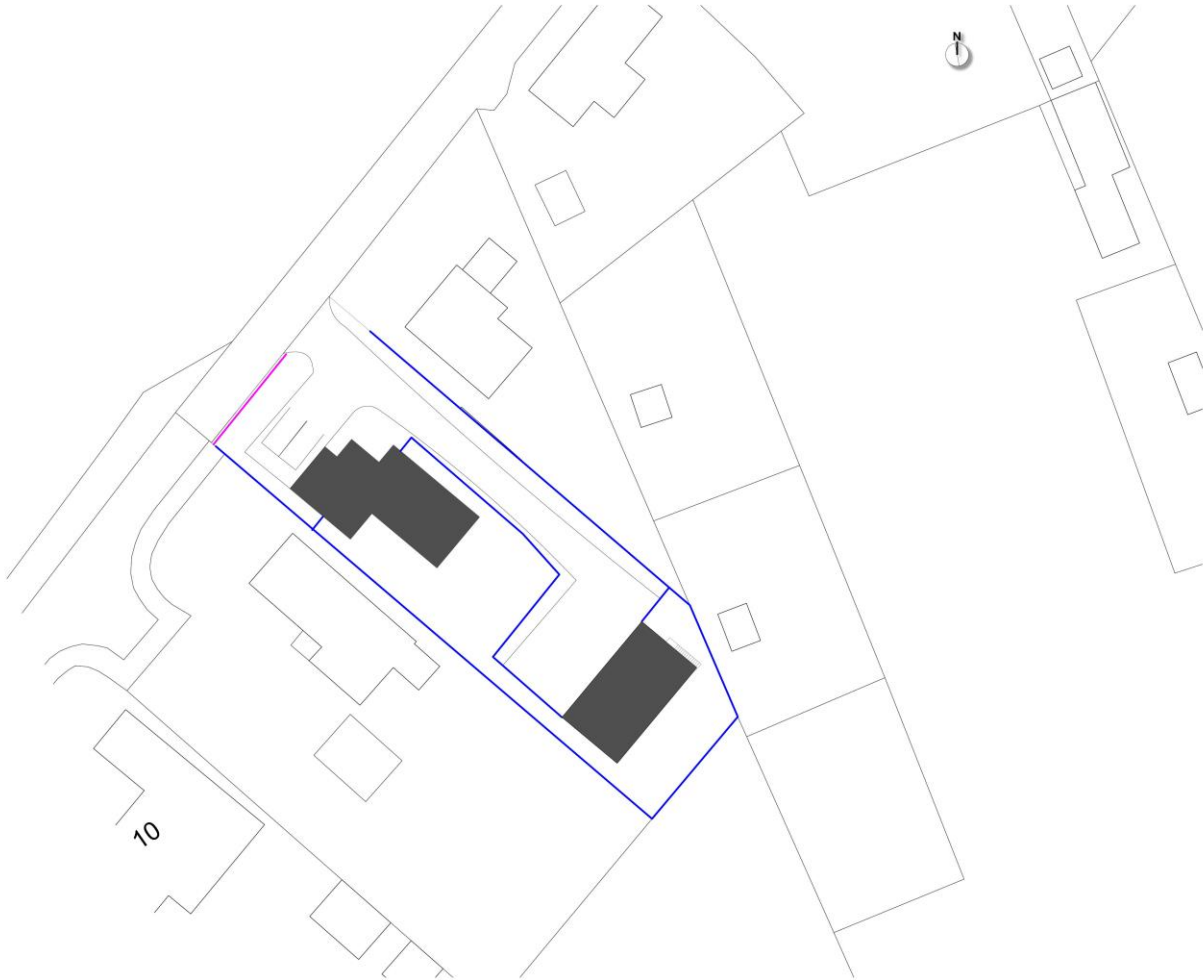
CHECKED BY: 06

APPROVED BY: 06

22/03

THE ABOVE DRAWING REPRESENTS A CONCEPTUAL DESIGN AND IS NOT A FINAL DESIGN

96



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NO	DATE	NOTES	BY

KEY

 1.8m Timber Close board fencing

 1.2m Timber close board fencing





C	1000000	Existing changes	HD
B	1000000	Geared areas position altered	HD
A	1000000	Plot and all fence reduced to the height	HD
HD	DATE	BY	BY

PLANNING

Clayland architects

100 The Chase House, London Gardens
Clayland House, Mansfield, Norfolk, UK
info@claylandarchitects.co.uk www.claylandarchitects.co.uk

contact:
Replacement Dwelling
14 The Avenue
Stoke Newington
Norfolk

DRAWING TITLE
Fencing Plan

SCALE	DRAWN NO	DRAWING NUMBER	REVISION
DATE	2023/03	A1	07
DRAWN BY	22233	CHECKED	CLAYLAND ARCHITECTS
DATE	2023/03	DATE	2023/03

THE WORK SHOWN APPROVED FOR THE PURPOSES OF THIS DRAWING

97



View of front elevation (looking south)

86



View of shared boundary with No 16

66



100



View of the shared boundary and side elevation of the dwelling



101



View of the rear of the dwellinghouse



102



View of the rear and northeast elevation

103



View of the garage/carport/annexe building (southwest elevation)



104



View of the garage/carport/annexe building (southwest elevation)

105



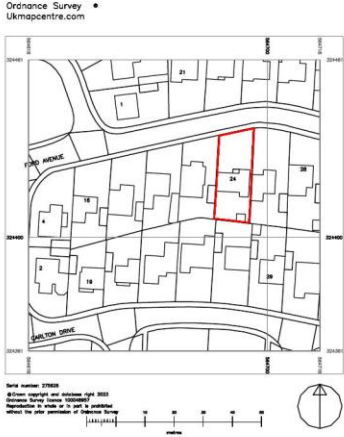
View to the rear of the garage/carport/annexe building



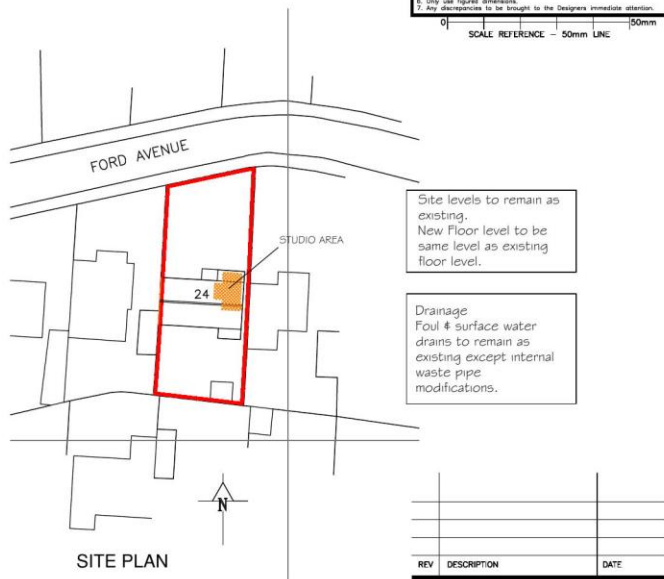
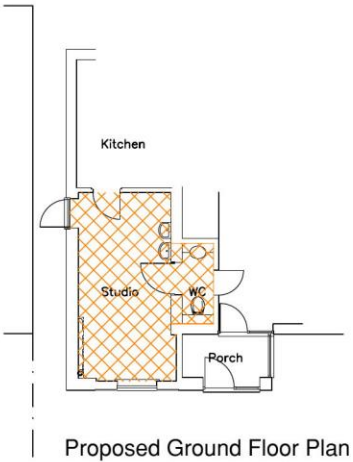
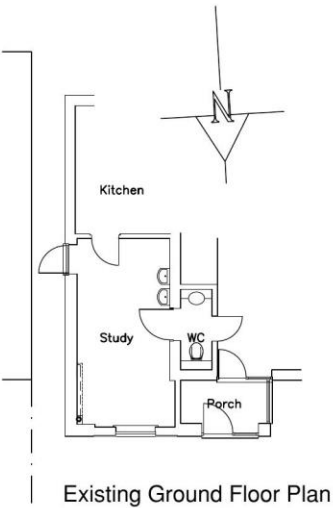
25/00198/F



107



108



PRELIMINARY -
SUBJECT TO PLANNING APPROVAL

6 Hawthorn Close
Wattlington
King's Lynn
Norfolk
PE33 0HD
Tel: 01553 811564
Email: mattgosling@aol.com

Project title		
PROPOSED STUDIO		
24 RORD AVENUE		
NORTH WOOTTON		
KING'S LYNN		
Drawing title		
EXISTING & PROPOSED PLANS & SITE PLAN		
Scale	Date	Drawn
1:100,500	Nov 23	MG
Drawing No:		Rev:
1070/23 - 01		



PARKING LAYOUT



110

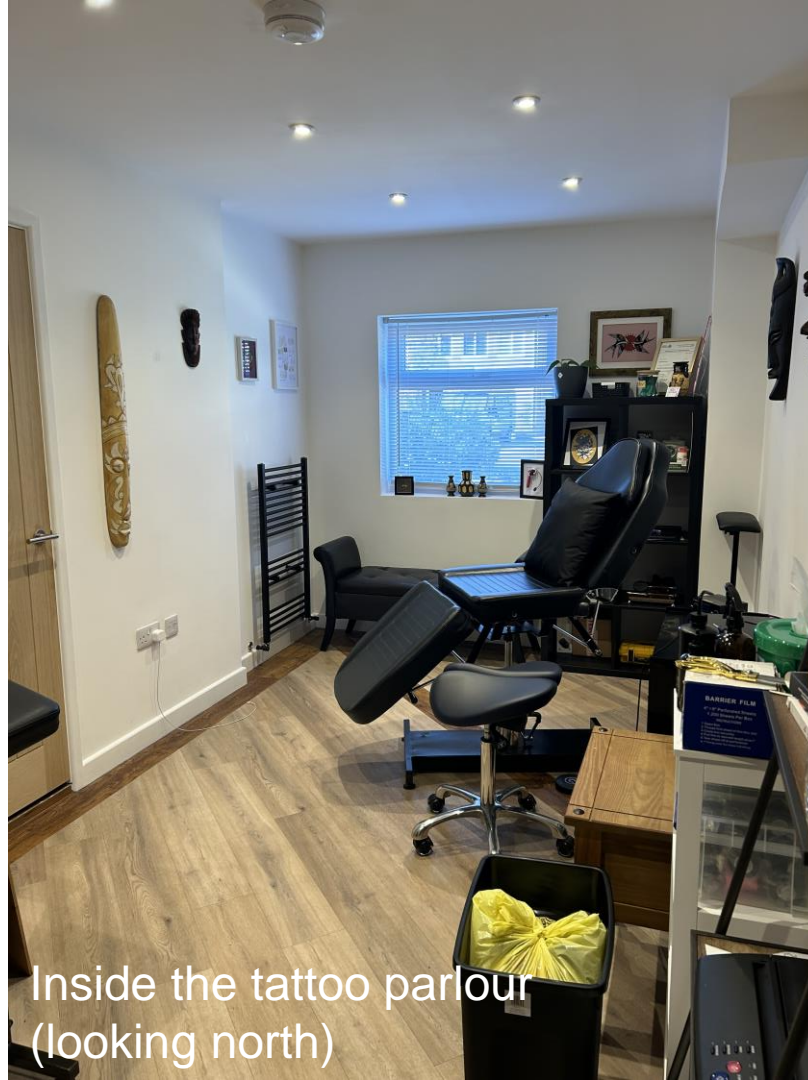


111



View of front and side elevation
(looking south)

112



Inside the tattoo parlour
(looking north)

113



Inside the tattoo parlour
(looking south)

114



View along Ford Avenue
(looking southwest)

115



View along Ford Avenue (looking southeast)



116



View along Ford Avenue (looking northeast)



117



118

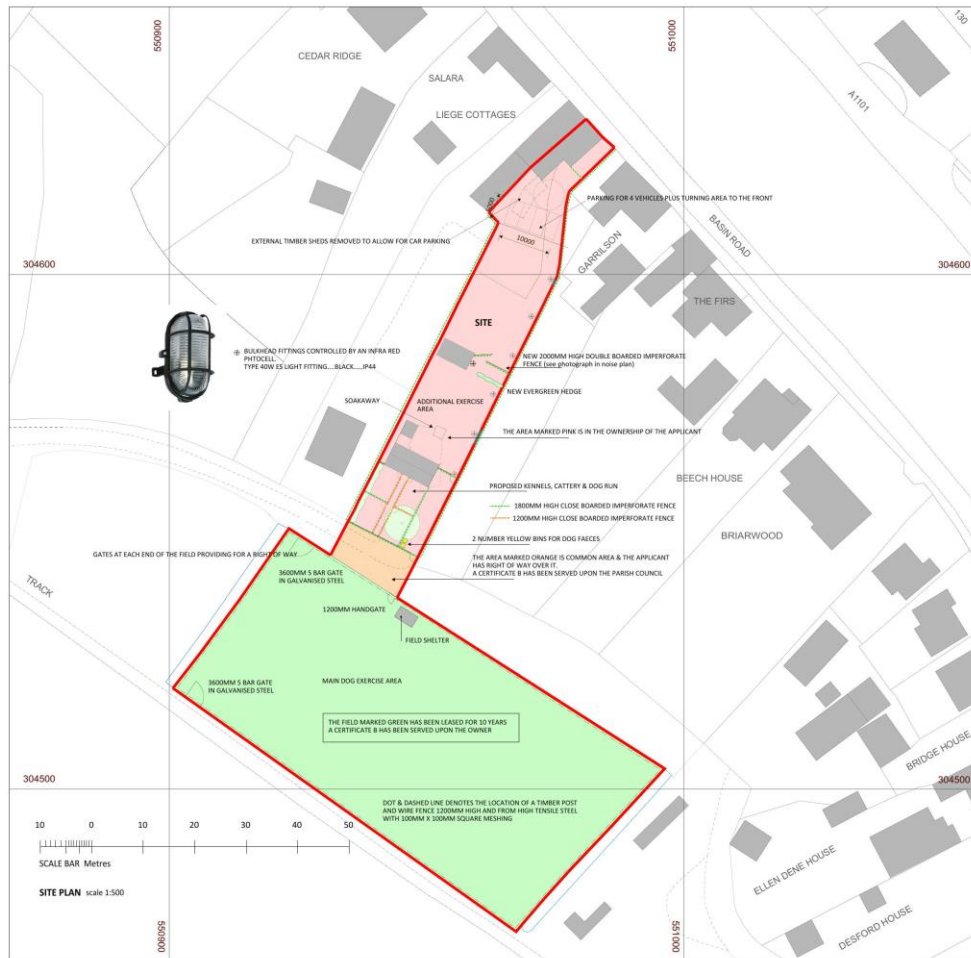


View along Ford Avenue (looking northwest)

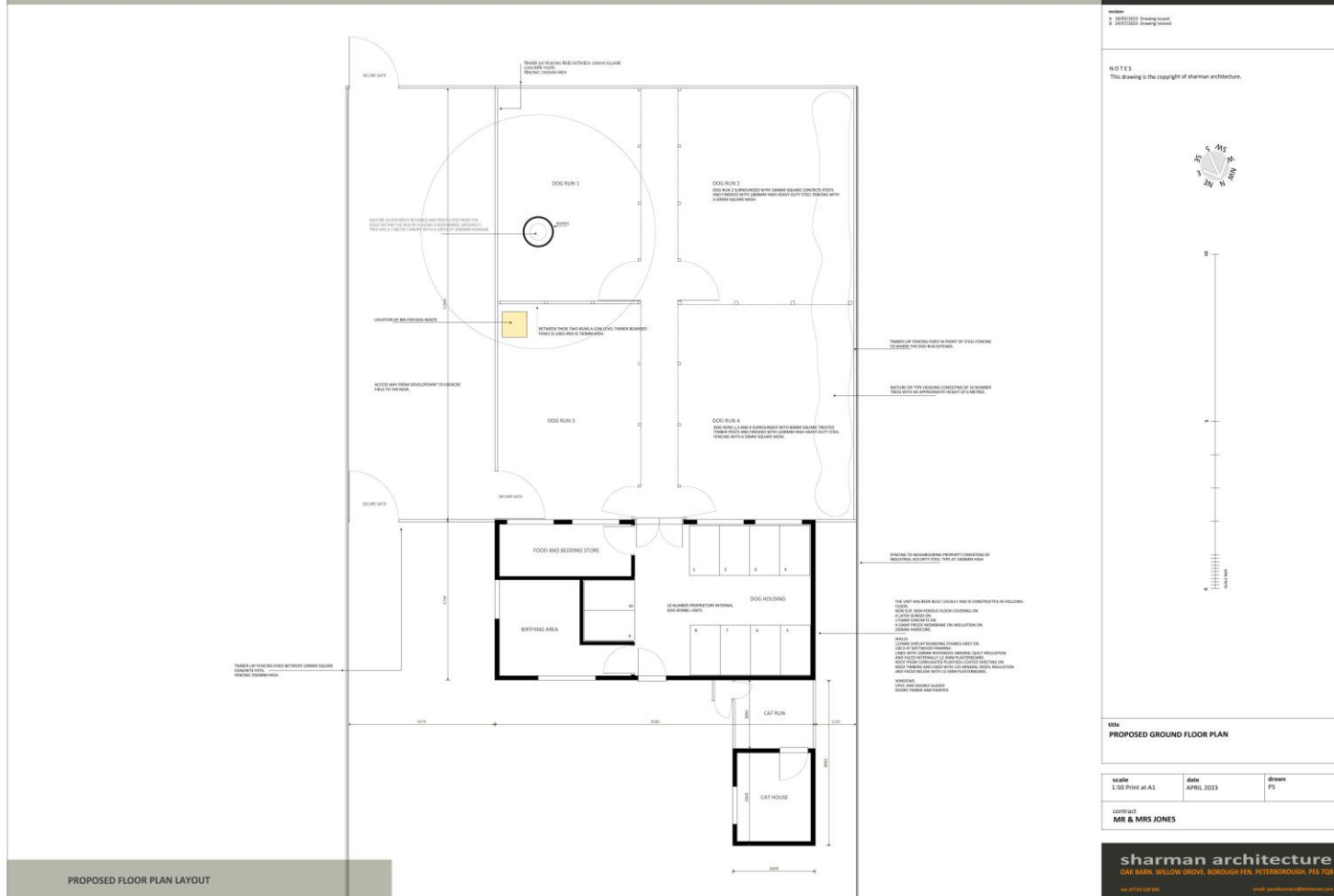


24/02156/F

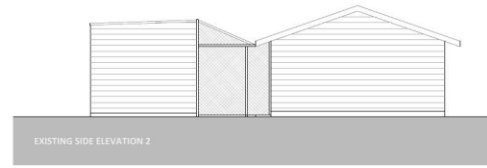
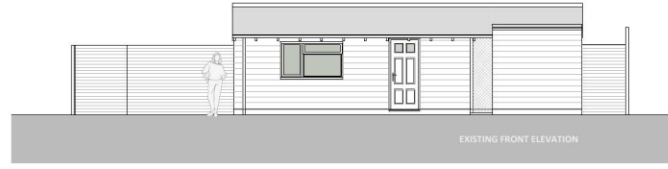




scale	1:1250 & 1:500	date	MAY 2023	version	1
author	LM/04/F	drawn	LM/04/F	checked	LM/04/F
project	1:1250 & 1:500	project	1:1250 & 1:500	project	1:1250 & 1:500
notes	<p>PROPOSED LOCATION & SITE PLAN.</p>				



122



NOTES
All drawings are the copyright of sharman architecture.



title EXISTING ELEVATIONS	scale 1:100 @ A3	date MAY 2023
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client MR & MRS JONES	revision A 15/05/2023 DRAWING FIRST ISSUED
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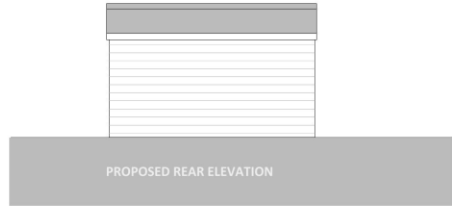
sharman architecture
OAK BARN, WILLOW DROVE, BOROUGH FEN, PETERBOROUGH, PE6 7QB

tel 01753 522 894 email paul@sharman1@btinternet.com

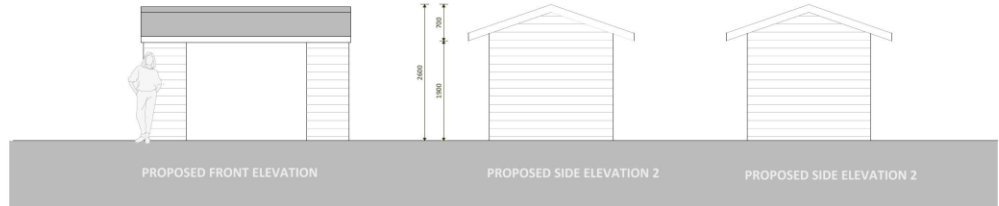
NOTES
All drawings are the copyright of sharman architecture.



PLAN VIEW OF FIELD SHELTER



PROPOSED REAR ELEVATION



PROPOSED FRONT ELEVATION

PROPOSED SIDE ELEVATION 2

PROPOSED SIDE ELEVATION 2



title FIELD SHELTER	scale 1:50 @ A2	date MAY 2023
-------------------------------	---------------------------	-------------------------

contract MR & MRS JONES	revision A 23/05/2023 DRAWING FIRST ISSUED
---------------------------------------	--



Parking area to the rear of dwelling



Parking area / garden



Acoustic fencing



Entrance to dog area



Dog kennels to rear with cattery to right hand side
(play area changed since photograph)



Showing kennels/cattery compared with the neighbouring building



Play equipment now altered



Side of kennels, open runs to the rear (left of photo)



Access to rear field. Dog runs other side of fencing.



Open dog runs to rear of kennels



Inside open dog run behind kennels



Field shelter



Exercise field



Exercise field

SPEAKERS SLIDE

BILL SMITH

138



139

**EXERCISE FIELD
16 DOGS 4 AT A
TIME DAILY
IN LONG GRASS ?**

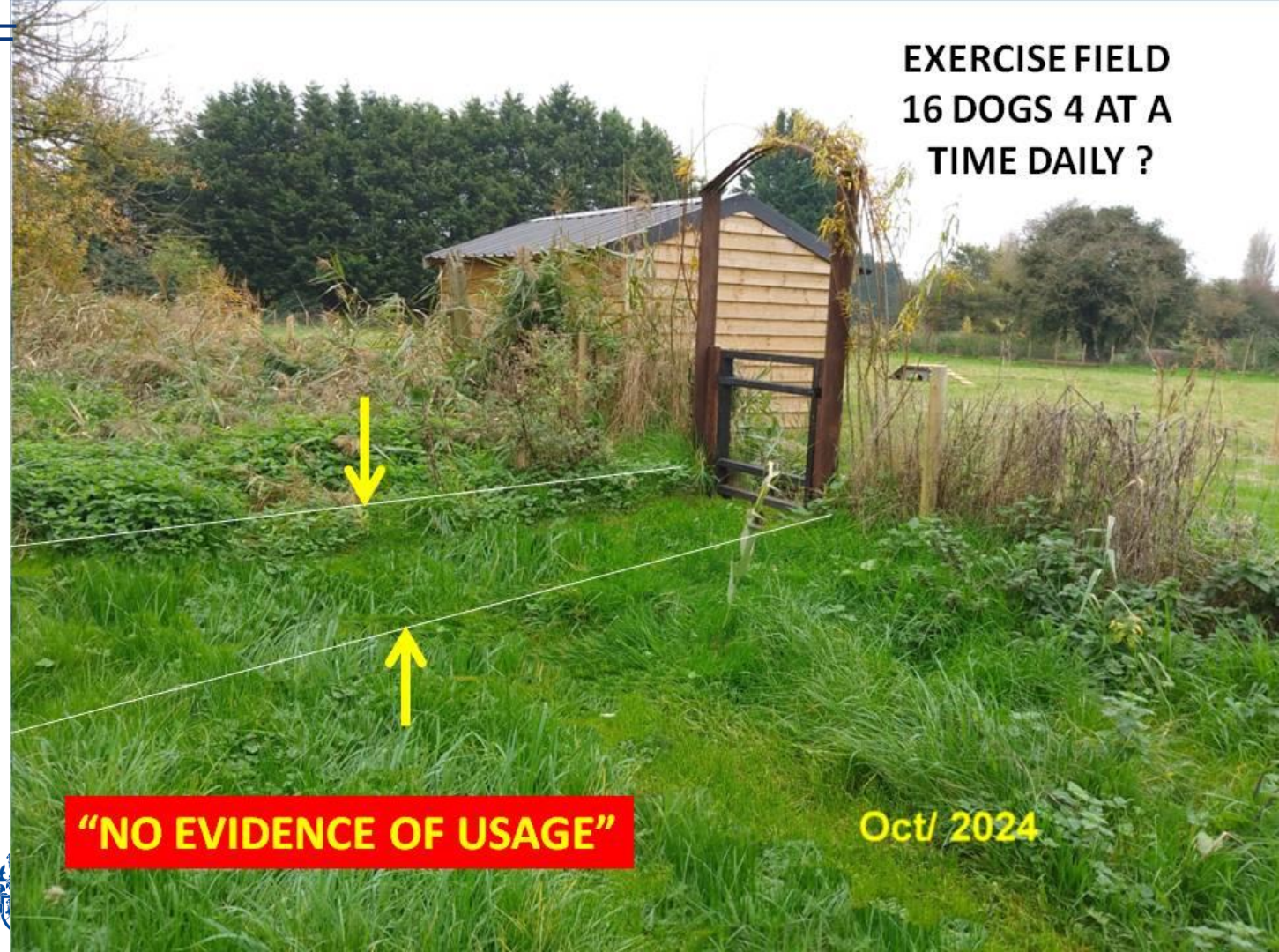
**"NO EVIDENCE
OF REGULAR
USAGE"**

Weds Aug 07 2024



EXERCISE FIELD
16 DOGS 4 AT A
TIME DAILY ?

140



"NO EVIDENCE OF USAGE"

Oct/ 2024

24/02156/F

Slide No.
140

**UNACCEPTABLE ACTIVITY.
TRANFERING DOG FAECES
ONE METRE FROM MY WINDOW!**

141

JAN 14 0810 HRS



**INCONSIDERATE AND INSUFFICIENT
OFF ROAD PARKING**



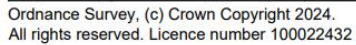
143

AMPLE OFF OFF ROAD PARKING?

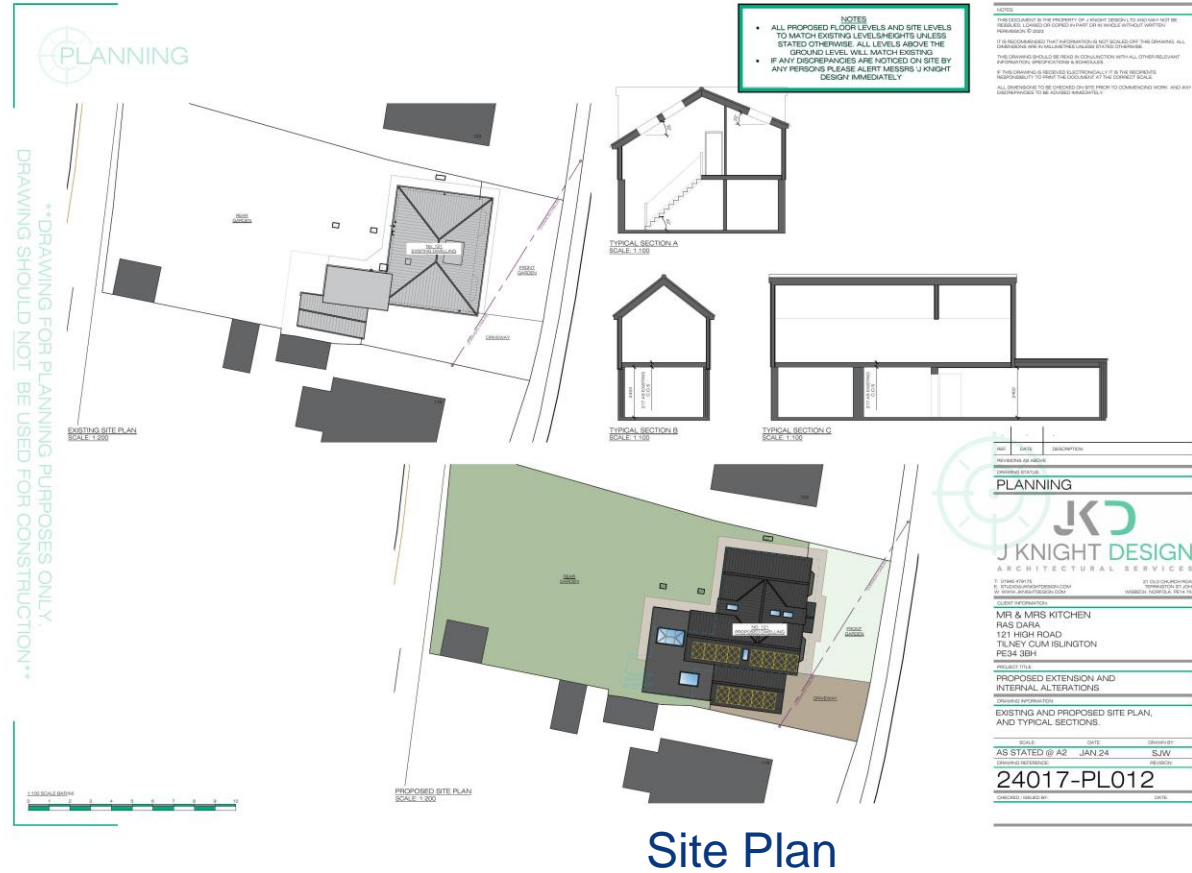


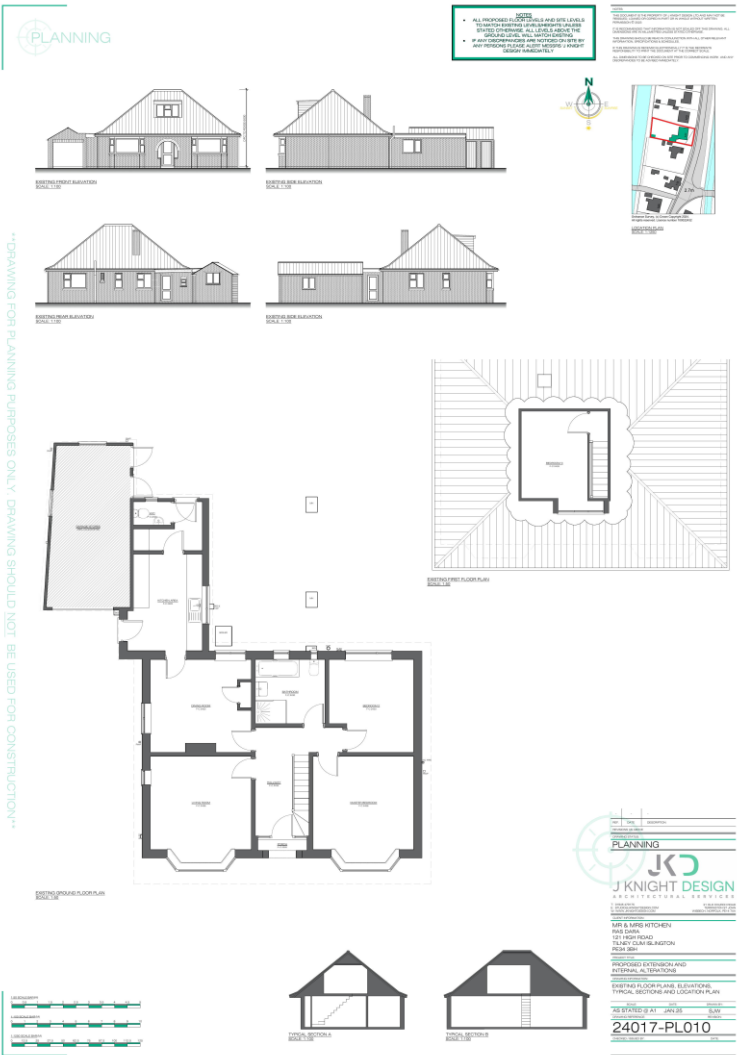
25/00251/F





Location Plan





Existing Plans



PROPOSED FRONT ELEVATION
SCALE: 1:100



PROPOSED SIDE ELEVATION
SCALE: 1:100



PROPOSED REAR ELEVATION
SCALE: 1:100

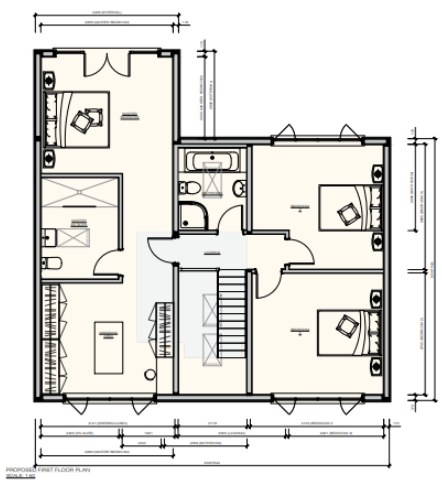
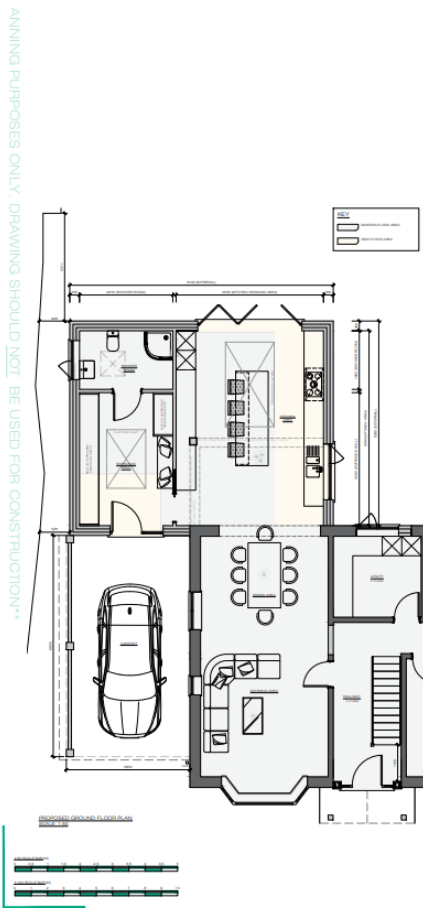


PROPOSED SIDE ELEVATION
SCALE: 1:100

FINISHES LEGEND	
	SMOOTH GREY MARLEY MODERN ROOF TILES
	EXISTING BRICKWORK BELOW DPC TO PAINTED BLACK
	POLAR WHITE K REND RENDER
	CEDAR CLAY BROWN HORIZONTAL CLADDING
	MIXED RED BRICK BLEND FACING BRICKWORK
	DARK GREY UPVC WINDOWS, DOORS AND FASCIA BOARDS
	BLACK UPVC GUTTERS AND DOWN PIPES
	INDICATES LOCATION OF SOLAR PANELS
	INDICATES OUTLINE EXTENTS OF EXISTING DWELLING

Proposed Elevations





PLANNING

JKD
J KNIGHT DESIGN
ARCHITECTURAL SERVICES

MR & MRS KITCHEN
RWD GARDEN
121 HIGH ROAD
FLEET GUM BLINSTON
FLEET, HANTS

PROPOSED EXTENSION AND
INTERNAL ALTERATIONS

PROPOSED FLOOR PLANS AND ELEVATIONS

24017-PL011

Proposed Floorplan

149



Front
elevation

150



151



Front elevation (LHS)



152



153



View from north to south at front

154



155



156



157



158



159



View from rear looking southwest

160



View from rear looking west

161



Chalet bungalow to north

162



25/00055/F





NORTH-EAST DWELLING ELEVATIONS SCALE 1:100



NORTH-WEST



SOUTH-WEST



SOUTH-EAST



NORTH-EAST



NORTH-WEST



SOUTH-WEST



SOUTH-EAST

GARAGE ELEVATIONS SCALE 1:100



FIRST FLOOR PLAN SCALE 1:100



GROUND FLOOR PLAN SCALE 1:100
DWELLING TOTAL GIFA = 230sqm/2464sqft
GARAGE TOTAL GIFA = 29sqm/312sqft

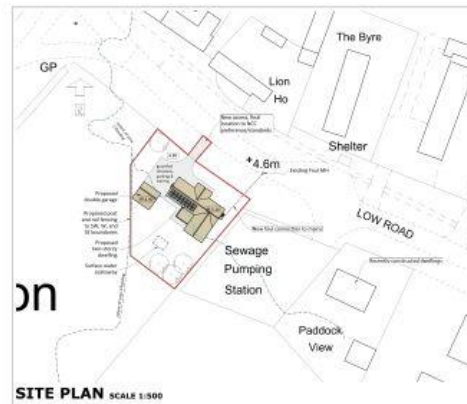


VOID

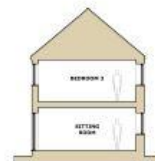
Materials:

Roof: Red/Orange interlocking clay pavers.
Walls: Red/Orange bricks in a traditional pattern.
Windows: White painted frames with black ironmongery.
Front Door: Dark grey UPVC.
External ground: Dark grey UPVC.

Slide No.
163



SITE PLAN SCALE 1:500



DWELLING SECTION SCALE 1:100



GARAGE SECTION SCALE 1:100

C - Updated GFA names (28/05/25)
B - Revised front elevation to LPA's comments (26/01/25)
A - Amended Carport to Garage to LPA's request (16/01/25)

REVISION DETAILS:

PROJECT:
Proposed Detached Dwelling
Land Adjacent
Low Road
Wretton
Norfolk
PE33 9QN

CLIENT:
Mr M Wright

TITLE:
Plans as Proposed

DATE:
09/01/25

VOID ARCHITECTURE

Heath Barn, Norwich Road, Fakenham,
Norfolk, NR21 8LZ

tel: 01308 801336
email: info@voidarchitecture.co.uk
web: www.voidarchitecture.co.uk

DRAWING: 1235.05 REV: C PAGE SIZE: A1



165



View southwest of application site



166



View to the west from the application site



167



View along Low Road, looking towards West Dereham Road





View north of Low Road and application site

169



View to the east of application site





View southeast at Low Road

171



View northeast along Low Road





View northeast along Low Road



View northeast along Low Road

174



View of south-side of Low Road



175



View looking west up Low Road



176



Along Low Road (to the southeast)



177



END OF PRESENTATION

