



**Planning Committee**  
**Monday, 3rd March, 2025 at 9.30 am**  
**in the Assembly Room, Town Hall, Saturday Market**  
**Place, King's Lynn PE30 5DQ**

**Reports marked to follow on the Agenda and/or Supplementary Documents**

1. **Decision on applications** (Pages 2 - 100)

The Committee is asked to consider and determine the attached Schedules of Planning Applications submitted by the Assistant Director.

**Contact**

Democratic Services  
Borough Council of King's Lynn and West Norfolk  
King's Court  
Chapel Street  
King's Lynn  
Norfolk  
PE30 1EX  
Tel: 01553 616394  
Email: [democratic.services@west-norfolk.gov.uk](mailto:democratic.services@west-norfolk.gov.uk)

# Planning Committee

Agenda Item 9

2



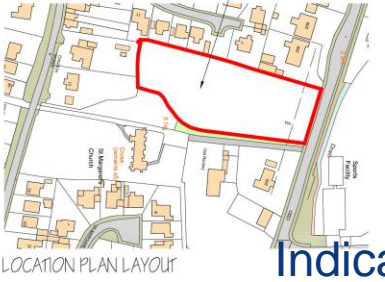
**24/02034/RM**

3

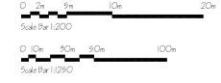


PROPOSED NEW RESIDENTIAL DEVELOPMENT  
 204 MAIN ROAD, CLENCHWARTON, KINGS LYNN, NORFOLK. PE34 4AA

24/02034/RM

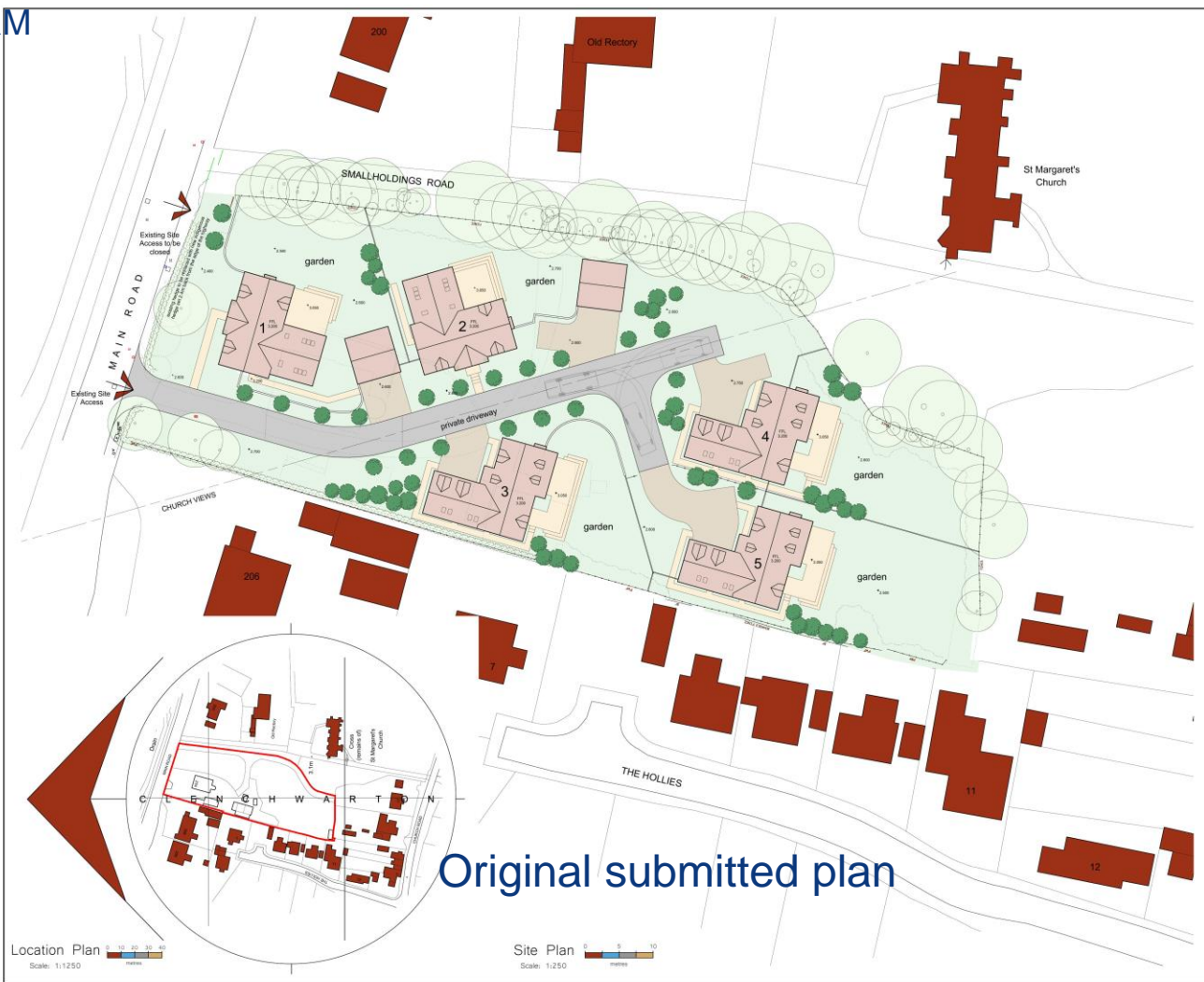


SKETCH SCHEME SITE PLAN LAYOUT



NOTE: SCHEME INDICATED IS INDICATIVE ONLY, NOTE ADDED AS REQUESTED BY THE PLANNING DEPARTMENT

OFFICE OF PLANNING SERVICES 2017/18  
 NEW RESIDENTIAL DEVELOPMENT - 204 MAIN ROAD, CLENCHWARTON, KINGS LYNN, NORFOLK  
 24/02034/RM  
 DATED 27/04/2024  
 SCALE 1:1000  
 DRAWN BY: **JD**  
 CHECKED BY: **JD**  
 APPROVED BY: **JD**  
 PROJECT MANAGER: **JD**



Original submitted plan

- General Notes
1. All dimensions are shown in feet unless otherwise stated.
  2. The dimensions are shown in feet unless otherwise stated.
  3. The drawings are shown in feet unless otherwise stated.
  4. The drawings are shown in feet unless otherwise stated.

- SITE PLAN KEY
- Indicates surrounding buildings - from OS location Plan
  - Indicates existing site access to be updated to comply with British Council standard details
  - Indicates features to be demolished
  - Indicates location of existing trees and hedgerows
  - Indicates location of proposed specimen trees
  - Indicates proposed new overlight
  - Indicates proposed new garden area
  - Indicates proposed parking and survey areas
  - Indicates proposed new private driveway
  - Indicates proposed 1.8m high stone-bonded fence
  - Indicates proposed 0.6m high post and rail fence
  - Indicates proposed 1.8m high brick wall

PLANNING

**SWANN EDWARDS ARCHITECTURE**

Swann Edwards Architects Limited, 2nd Floor, Park Road, Norwich, Norfolk, NR1 1AA

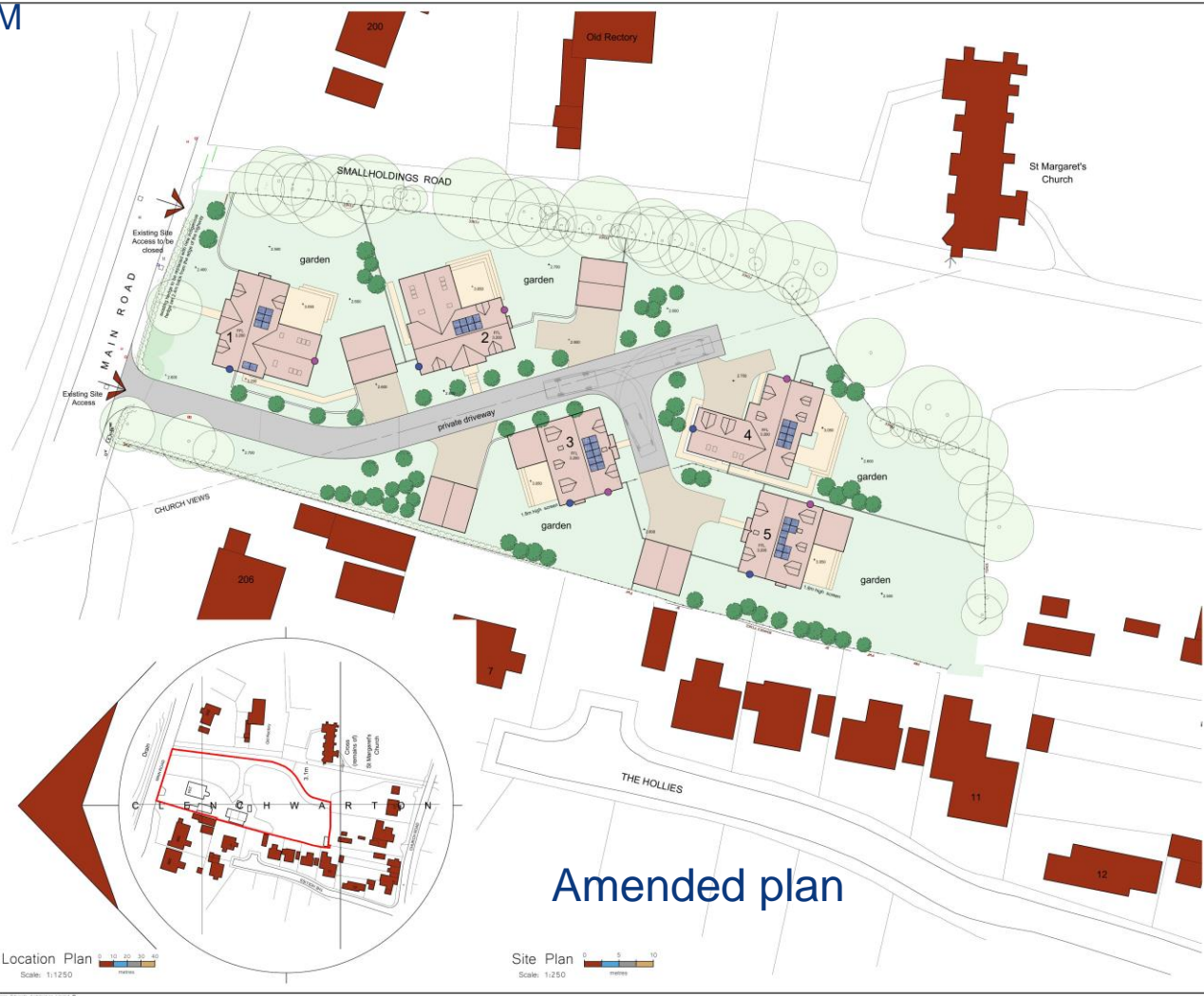
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for the Proposed Residential Development 204 Main Road, Churchwarden to JJ Sandberg Construction	on 10 October 2024	Phase 1 - R3
Issues The Planning Drawing SE-2192	on 10 October 2024	Phase 1 - A1
Site and Location Plan	on 10 October 2024	Phase 1 - A1

5

Location Plan Scale: 1:1250

Site Plan Scale: 1:250



# Amended plan

General Notes  
 1. All dimensions are shown in feet unless otherwise stated.  
 2. The site plan is for the development of the works.  
 3. The existing site is to be retained with all relevant structures and materials to be retained where appropriate and suitable for conversion, change and specifications.  
 4. Any developments are to be brought to the attention of the planning authority.

### SITE PLAN KEY

- Indicate existing buildings - from OS location Plan
- Indicate existing site access to be updated to comply with Health & Safety Construction Regulations
- Indicate features to be demolished
- Indicate location of existing trees and hedgerows
- Indicate location of proposed specimen trees
- Indicate proposed new dwellings
- Indicate proposed new garden areas
- Indicate proposed parking and turning areas
- Indicate proposed new private driveways
- Indicate proposed PV panels
- Indicate proposed 1.8m high close boarded timber fence
- Indicate proposed 2.0m high post and rail timber fence
- Indicate proposed 1.8m high brick wall
- Indicate location of proposed Fire Risk or Shared Fire Route and Fire or Shared Fire Route Energy Report on 09/09/2023
- Indicate site, new wall boundary and location to be detailed in Green Construction Report on 09/09/2023

PLANNING

**SWANN EDWARDS ARCHITECTURE**  
 Swann Edwards Architecture Limited, Bessy Barn, Fox Road, Gifford, West Lothian, EH20 1AA  
 0131 483334 • info@swannedwards.co.uk • www.swannedwards.co.uk

Revised Residential Development	04/03/2024	Phase 1 - R3
204 Main Road, Churchwarden to JJ Sandberg Construction	04/03/2024	Phase 1 - R3
Issue: The Planning Drawing Site and Location Plans	SE-2172	Phase 1 - A1
Rev: 01	RP1000	Phase 1 - B

Borough Council of King's Lynn & West Norfolk

Location Plan  
 Scale: 1:1250

Site Plan  
 Scale: 1:250

9

Source: Ordnance Survey, 2023



Side Elevation  
Scale: 1:100

Front Elevation  
Scale: 1:100

Side Elevation  
Scale: 1:100



Section B-B  
Scale: 1:100



Rear Elevation  
Scale: 1:100



Section A-A  
Scale: 1:100



Ground Floor Plan  
Scale: 1:100



First Floor Plan  
Scale: 1:100

General Notes  
 1. All dimensions are shown in feet unless otherwise stated.  
 2. The drawings, full construction and details must comply with all requirements of the plan to the satisfaction of any work.  
 3. The drawing is to be read in conjunction with all relevant regulations and applicable full construction drawings and specifications.  
 4. Any discrepancies are to be brought to the designer attention.

House Type A Schedule of Sizes - PLOTS 1-2	
<b>Internal Floor Areas</b>	
1st Floor	155.1m <sup>2</sup>
Ground Floor (incl garage)	155.1m <sup>2</sup>
Total Floor	310.2m <sup>2</sup>
Total	352.3m <sup>2</sup>

- MATERIAL KEY**
- Hatched indicates Hardwood - Old Farmhouse timework with lime coloured plaster
  - Hatched indicates black feather edged timber cladding - garage
  - Hatched indicates natural slate roof tiles - garage
  - Hatched indicates Plaster 3 - Old Village Clay Flashed roof tiles
  - Hatched indicates laminated timework cladding to upper walls
  - Indicates dotter windows
  - Indicates rooflights
  - Indicates PVCU uPVC uPVC windows and doors with black handle and hardware variations
  - Reinforced concrete - black half round pillars and black round balustrades

PLANNING



Swann Edwards Architecture Limited, Reed, Barn, Fox Road, Gifford, West Lothian, EH20 9JQ, UK  
 0131 483334 • info@swannedwards.co.uk • www.swannedwards.co.uk

Site File Proposed Residential Development 204 Main Road, Cramerton to JJ Sandberg Construction	Date: October 2024	Sheet No: RS
Drawn: The Planning Drawing Plans and Elevations PLOT 1	Ref No: SE-2192 Rev No: 09/1/2020	Sheet No: A17
		Revision: B

Source: Council Information Centre



General Notes  
 1. All dimensions are shown in feet unless otherwise stated.  
 2. The drawings, full construction and details shall comply with the provisions of the plan to the satisfaction of any work.  
 3. The drawing is to be read in conjunction with all relevant regulations and applicable full construction drawings and specifications.  
 4. Any discrepancies are to be brought to the designer's attention.

House Type A Schedule of Sizes - PLOTS 1 & 2

Internal Floor Areas	
Ground Floor (incl garage)	155.1m <sup>2</sup>
First Floor	127.0m <sup>2</sup>
Total	282.1m <sup>2</sup>

- MATERIAL KEY
- Hatch indicates Hardline - Old Farmhouse brickwork with lime coloured mortar
  - Hatch indicates black leather edged timber cladding - garage
  - Hatch indicates natural slate roof tiles - garage
  - Hatch indicates Pavers 3 - Old Village Clay Pavers roof tile
  - Hatch indicates limited brickwork cladding to upper walls
  - Indicates corner windows
  - Indicates rooflights
  - Indicates PVCU uPVC window and doors with black head or profile finishes
  - Horizontal goods - black half round gutters and black round downpipes

PLANNING

**SWANN EDWARDS ARCHITECTURE**

Swann Edwards Architecture Limited, Bessy Barn, Fox Road, Gifford, West Lothian, EH20 9JQ

11 The Proposed Residential Development 204 Main Road, Cheshampton to JJ Sandberg Construction

Issue	10/01/2024	Drawn by	RS
Revised by		Checked by	
Issue	08/01/2024	Drawn by	RS
Revised by		Checked by	
Issue	08/01/2024	Drawn by	RS
Revised by		Checked by	

Issue: The Planning Drawing Plans and Elevations PLOT 2





Side Elevation  
Scale: 1:100



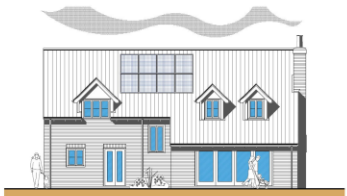
Front Elevation  
Scale: 1:100



Side Elevation  
Scale: 1:100



Section C-C  
Scale: 1:100



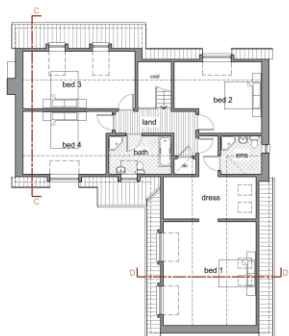
Rear Elevation  
Scale: 1:100



Section D-D  
Scale: 1:100



Ground Floor Plan  
Scale: 1:100



First Floor Plan  
Scale: 1:100

General Notes  
1. All dimensions are shown in feet unless otherwise stated.  
2. The structure, sub-structure and services shall comply with the provisions of the plan to the satisfaction of any work.  
3. The drawing is to be read in conjunction with all relevant regulations and applicable sub-contractor drawings and specifications.  
4. Any discrepancies are to be brought to the attention of the client.

House Type B Schedule of Sizes - PLOT 4	
Internal Floor Areas	
Ground Floor (inc garage)	100.5m <sup>2</sup>
First Floor	127.0m <sup>2</sup>
Total	227.5m <sup>2</sup>

- MATERIAL KEY**
- Hatched indicates Hardline - Old Farmhouse brickwork with lime coloured mortar
  - Hatched indicates black feather edge timber cladding - garage
  - Hatched indicates natural slate roof tiles - garage
  - Hatched indicates Pattern 0 - Old Village Clay Flatware roof tiles
  - Hatched indicates limited brickwork relating to existing work
  - Indicates corner windows
  - Indicates rooflights
  - Indicates PVCU uPVC window and doors with black handle and hardware variations
  - Reinforced concrete - black roof board gullies and black round manholes

PLANNING

**SWANN EDWARDS ARCHITECTURE**  
Swann Edwards Architecture Limited, Bann, Ban, Pen Road, Gosport, Hampshire, United Kingdom, PO13 9AA  
T: 01329 433334 • F: 01329433333 • www.swannedwards.co.uk

148 The Proposed Residential Development 204 Main Road, Cheshampton to JJ Sandberg Construction	10th October 2024	Phase 1B RD	Phase 1B
Swann Edwards Architecture	SE-2172	Phase 1A	Phase 1A
PLOT 4	20/11/2024	Phase 1B	Phase 1B

PLOT 3

PLOT 5



Front Elevation  
Scale: 1:100



Side Elevation  
Scale: 1:100



Front Elevation  
Scale: 1:100



Side Elevation  
Scale: 1:100



Front Elevation  
Scale: 1:100



Side Elevation  
Scale: 1:100



Front Elevation  
Scale: 1:100



Side Elevation  
Scale: 1:100



Section E-E  
Scale: 1:100



Section F-F  
Scale: 1:100



Ground Floor Plan  
Scale: 1:100



First Floor Plan  
Scale: 1:100



Ground Floor Plan  
Scale: 1:100



First Floor Plan  
Scale: 1:100

General Notes:  
1. All dimensions are shown in feet unless otherwise stated.  
2. All dimensions are approximate and subject to field work and variations on the plan to the satisfaction of the works.  
3. The drawing is to be read in conjunction with all relevant regulations and applicable full construction drawings and specifications.  
4. Any discrepancies are to be brought to the designer's attention.

House Type A Schedule of Sizes - PLOTS 3 AND 5

Internal Floor Areas	
Ground Floor (see garage)	124.0m <sup>2</sup>
First Floor	145.1m <sup>2</sup>
Total	269.1m <sup>2</sup>

- MATERIAL KEY**
- Hatched indicates Bricks - Old Farmhouse with fine red brick pattern
  - Hatched indicates brick feather edge inner facing - garage
  - Hatched indicates cedar slate roof tile - garage
  - Hatched indicates Pattern 3 - Old Village Clay Flashed roof tile
  - Hatched indicates limited brickwork relating to gable ends
  - Indicates corner windows
  - Indicates soffits
  - Indicates PPG3 untreated windows and doors with black handles and hardware
  - Horizontal goods - black half round gutters and black round downpipes

**PLANNING**

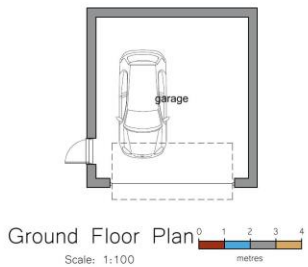
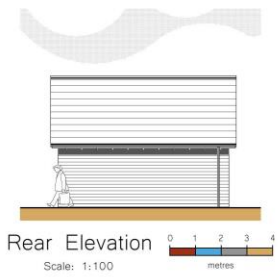
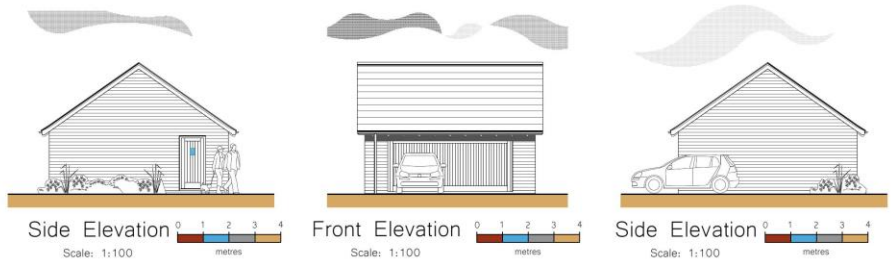
**SWANN EDWARDS ARCHITECTURE**

Swann Edwards Architecture Limited, Beach Road, Pine Road, Gosport, Hampshire, United Kingdom, PO12 3AA  
 01703 403334 • info@swannedwards.co.uk • www.swannedwards.co.uk

Site Plan Proposed Residential Development 204 Main Road, Cheselton to JJ Sandberg Construction  
 Date: 09 December 2024  
 Prepared by: RS  
 Checked by: AT  
 Scale: SE-2192  
 Ref: 20/11304  
 Project: A

10

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- General Notes**
1. All dimensions are shown in 'metres' unless otherwise stated.
  2. The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.
  3. This drawing is to be read in conjunction with all relevant engineers and specialist sub-contractors drawings and specifications.
  4. Any discrepancies are to be brought to the designers attention.

**MATERIAL KEY**

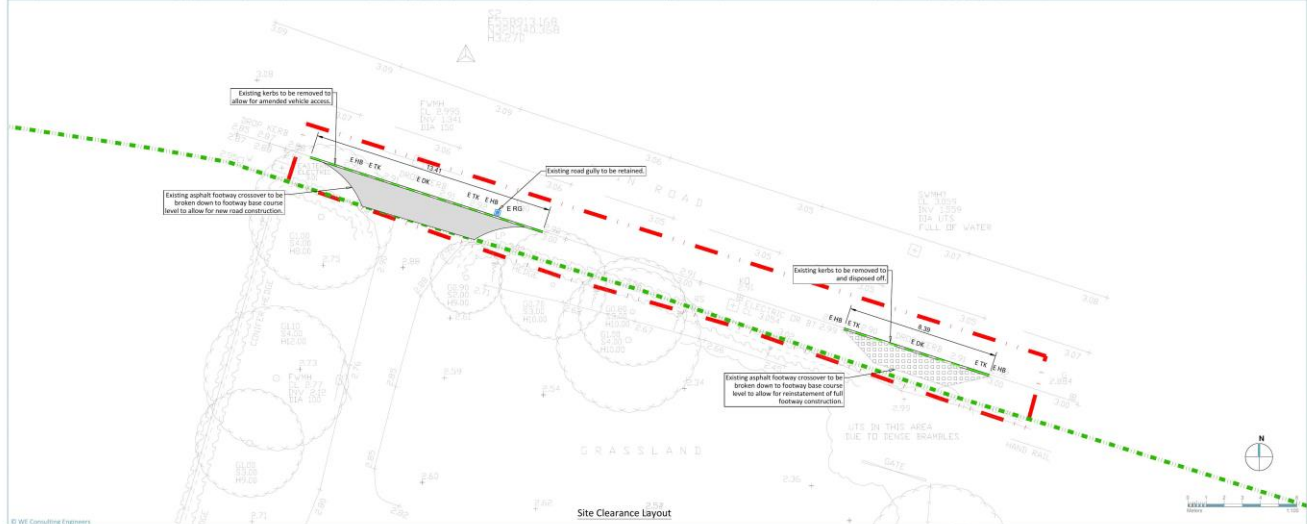
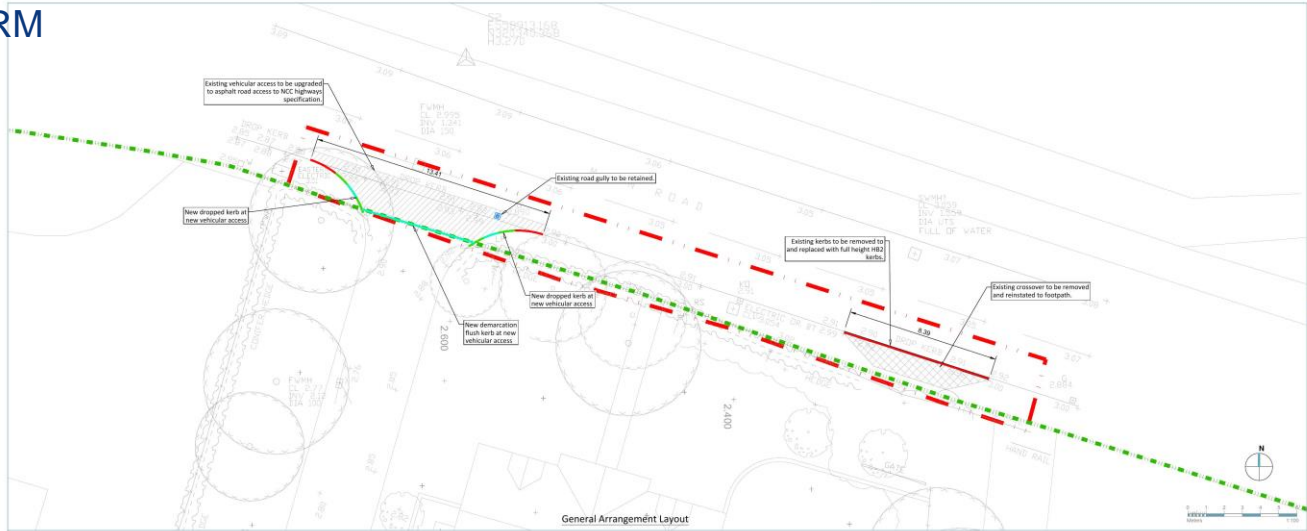
- Hatch indicates Hoasons - Old Farmhouse brickwork with lime coloured mortar
- Hatch indicates black feather edged timber cladding - garages
- Hatch indicates natural slate roof tiles - garages
- Hatch indicates Panns 3 - Old Village Clay Flatness roof tiles
- Indicates PVCU casement windows and doors with brick head as detailed on elevations

Issue

**PLANNING**

Swann Edwards Architecture Limited, Black Barn, Fern Road, Claydon, Woburn, Cambs. PE13 4AA.  
 t 01945 430634 e info@swannedwards.co.uk w www.swannedwards.co.uk

Job Title Proposed Residential Development 204 Main Road, Clenchwarton for JJ Sandberg Construction	Date October 2024	Drawn by RS Checked by
Drawing Title Planning Drawing Garages	Job No. SE-2172 Draw No. PP-1103	Sheet Size A2 Revision A



CIVIL ENG DRAWING

General Notes:

- Do not take from the drawings, alter dimensions, components & assemblies on site prior to manufacture, construction or supply.
- Where no units are given for dimensions, whole numbers indicate millimetres (mm) & decimal numbers indicate metres (m).
- All drawings are to be read together in conjunction with all relevant Architects and other Engineers drawings and specifications. Any discrepancies are to be reported to WE Consulting Engineers for review before ordering materials, commencing fabrication, or proceeding on site.
- All proprietary items and materials are to be used and installed in accordance with manufacturers specifications and recommendations.
- Topographical survey information shown based on: Gold Land Survey Drawing G-204 MAIN ROAD 0302024 REV B 27/11/2024
- Highway layout based on Swann Edward Drawing "E-1173-55380" A December 2024
- Existing road lining on layout shown approximately. Contractor is to survey road to fit-in to accurate positioning of road lining
- Below ground utility information currently unavailable at the time of drafting layout. It is recommended the contractor undertake a utility survey to confirm and coordinate highways design and avoid clashes with existing below ground utilities.
- Highway details are in abeyance. All details and works are to be agreed with the local highway authority prior to works commencing.

General Arrangement Legend:

- Works Boundary
- Highway Boundary
- Existing crossover to be broken out and disposed. Voids are to be filled with Type 1 material. Crossover to be reinstated as follows to NCC highways specification
- New asphalt vehicular access to NCC highways specification to be in existing road
- Existing road gully to be retained

Site Clearance Legend:

- Existing kerbs and associated footings under to be removed and disposed, voids are to be filled with acceptable Type 1 material
- Existing crossover to be broken out and disposed. Voids are to be filled with Type 1 material
- Existing footway materials to be planned off for recycling
- Existing road gully to be retained

NOT FOR CONSTRUCTION

REV	ISSUED FOR COMMENT	01 / 25
001	DESCRIPTION	DATE
CLIENT		
JJ Sandberg Construction Ltd		
PROJECT		
204 Main Road Clenchwarton Kings Lynn PE34 4DN		
DRAWING TITLE		
Highway Works GA & Site Clearance Layout		
SCALE	1:100 @ A1	DATE 01 / 25
DRAWING NO.	WECE/24/487/A1/C/400	REV P01
STATUS	Preliminary	
DRAWN	ST	CHECKED WE
WE CONSULTING ENGINEERS		
WE Consulting Engineers Limited Row & Ferns, Fen Road, Gorleston, PE13 3AA		
t: 01345 479 689 e: mail@we-engineer.co.uk		

13



View SE from Main Road near bus stops

14



Entrance to the site



15



16



View Westwards along Main Road from close to mini-roundabout



17



18



View to SE from rear of bungalow



19



View along Western boundary



20



21



Panning around towards the church

22



23



**23/01189/F**

24





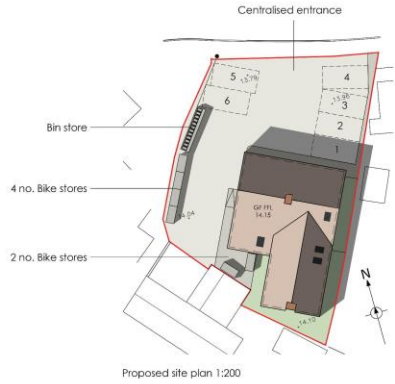
25



Ground Floor Plan 1:50



First Floor Plan 1:50



Proposed site plan 1:200

**Materials**  
 Red Pantile  
 Red brick  
 Carstone

**Unit sizes**  
 Unit 1 - 37 sqm  
 Unit 2 - 37 sqm  
 Unit 3 - 40 sqm  
 Unit 4 - 37 sqm  
 Unit 5 - 37 sqm  
 Unit 6 - 37 sqm

GIA - GF 129 sqm FF 129 sqm  
 GEA - GF 149 sqm FF 149 sqm



West Elevation 1:100

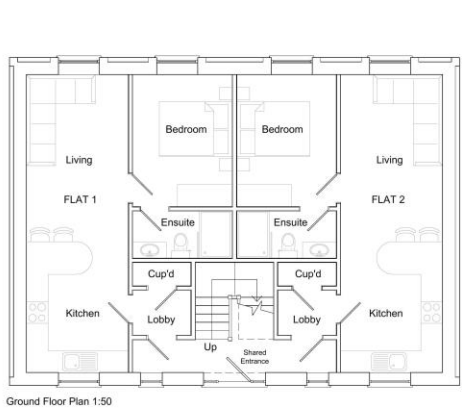
North Elevation 1:100

South Elevation 1:100

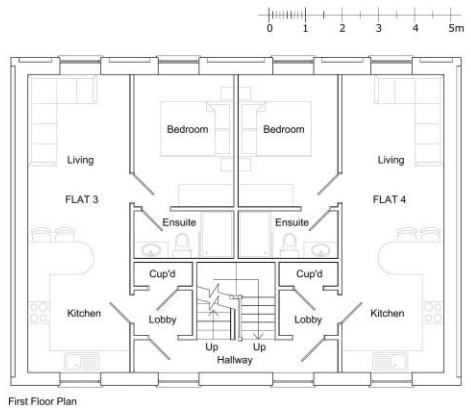
East Elevation 1:100

38 Manor Road	
Replacements building 6 no. Apartments	
Date: April 23	Scale: 1:50 & 1:200 @ A1
Project No: 22213	Drawing No: 02
	Revision: A

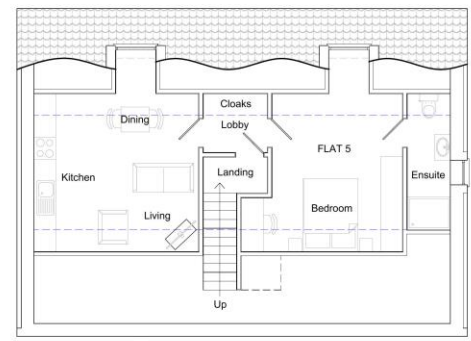




Ground Floor Plan 1:50



First Floor Plan



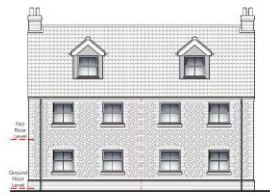
Second Floor Plan



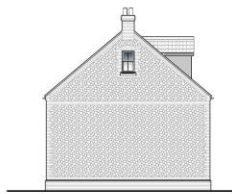
26



Proposed Site Plan 1:200



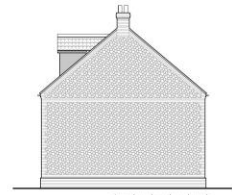
North Elevation 1:100



East Elevation



South Elevation



West Elevation

Materials to be;

- Red facing brickwork
- Carstone infill
- UPVC windows and doors
- Aluminium rainwater goods
- Zinc dormers

**Vertex Architecture**  
 Planning & Architectural Design Consultancy

Project:  
 38 Manor Road, Dersingham,  
 Norfolk, PE31 6L4

Drawn:  
 Sns, Proposed Flats  
 Proposed Plans & Elevations

Date:  
 October 2024

Scale:  
 1:50, 1:100, 1:200 @ A1

Drawing No:  
 22213

Revision:  
 04

Sheet:  
 A



27

Existing building as viewed from frontage



28

Street scene image at junction with Heath Road



View North from rear of site, neighbouring dwelling to East



View South from rear of site, adjoining dwelling

**24/00373/F**

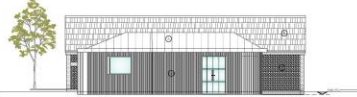
31



Rev.	Date	Description	Drawn
B	20-01-24	Building Report Approved	RS
B	20-04-24	Amends from Planning Discussion	RS
C	10-11-24	Amends from Planning Discussion	RS



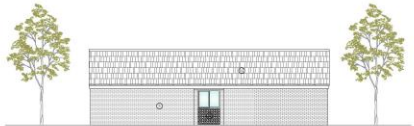
West Elevation - As Proposed  
Scale 1:100



South Elevation - As Proposed  
Scale 1:100



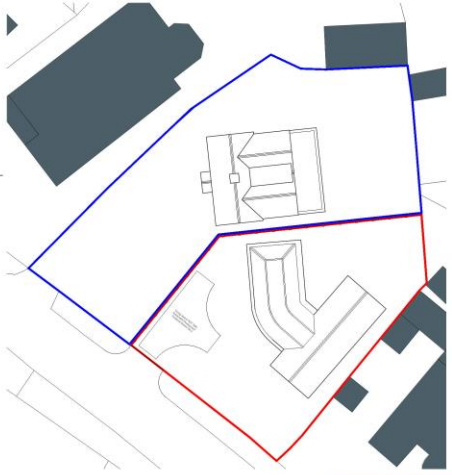
Site Location Plan - As Existing  
Scale 1:1000  
Notes: Site levels to remain as existing



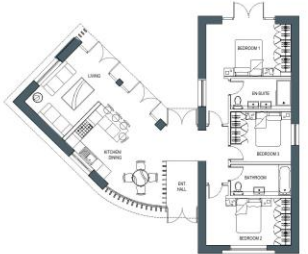
North Elevation - As Proposed  
Scale 1:100



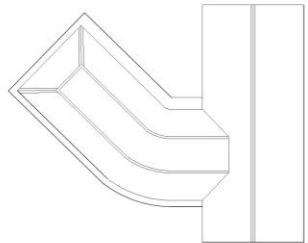
East Elevation - As Proposed  
Scale 1:100



Site Plan - As Proposed  
Scale 1:200



Ground Floor Plan - As Proposed  
Scale 1:100



Roof Plan - As Proposed  
Scale 1:100

- Materials:
1. Brick
  2. Flint Cobbles
  3. Vertical Timber Cladding
  4. Vertical Timber Loures
  5. Zinc Roof
  6. Clay Tiles



23 Lamsay Lane  
Heacham

Title	
Site Plan, Floor Plans & Elevations Proposed	
Scale	1:100/200/1250 @ A1 17-05-24
Drawn	RS Checked: JL
Drawing made for	PLANNING
Drawn No.	710-P200 Rev. C

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33



View from site frontage showing tree previously removed



34



View from site frontage showing bungalows to rear

35



View from site frontage, gardens & bungalows to East



36

View from site frontage towards donor dwelling (23 Lamsey Lane)

37





View from site frontage East along Lamsey Lane

39



View from site frontage West along Lamsey Lane

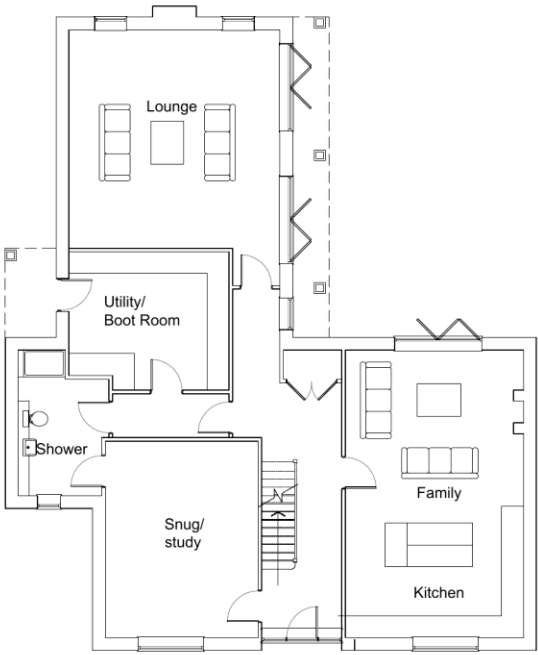
24/01813/F

40

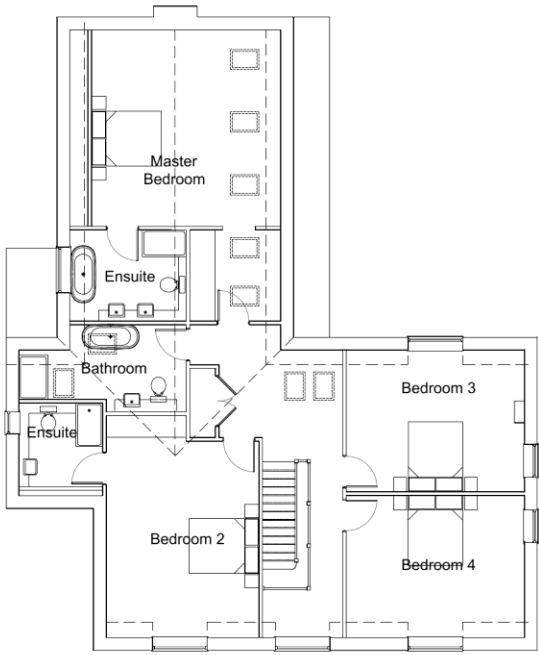




41



Ground



First



Project	9, Burnham Road, Ringstead Norfolk	
Title	Proposed Floor Plans	

Client	Mr and Mrs R Hutchinson	
Drawn	RF	Checked
Scale	1:100@A3	Approved
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<b>L&amp;S</b>	Lines & Squares Ltd		
	81 London Road, Knebworth, Herts. SG3 6HG		
Project No.	LS839	Drawing No.	PL04
			D



Front Elevation



Side Elevation

42



Rear Elevation



Side Elevation

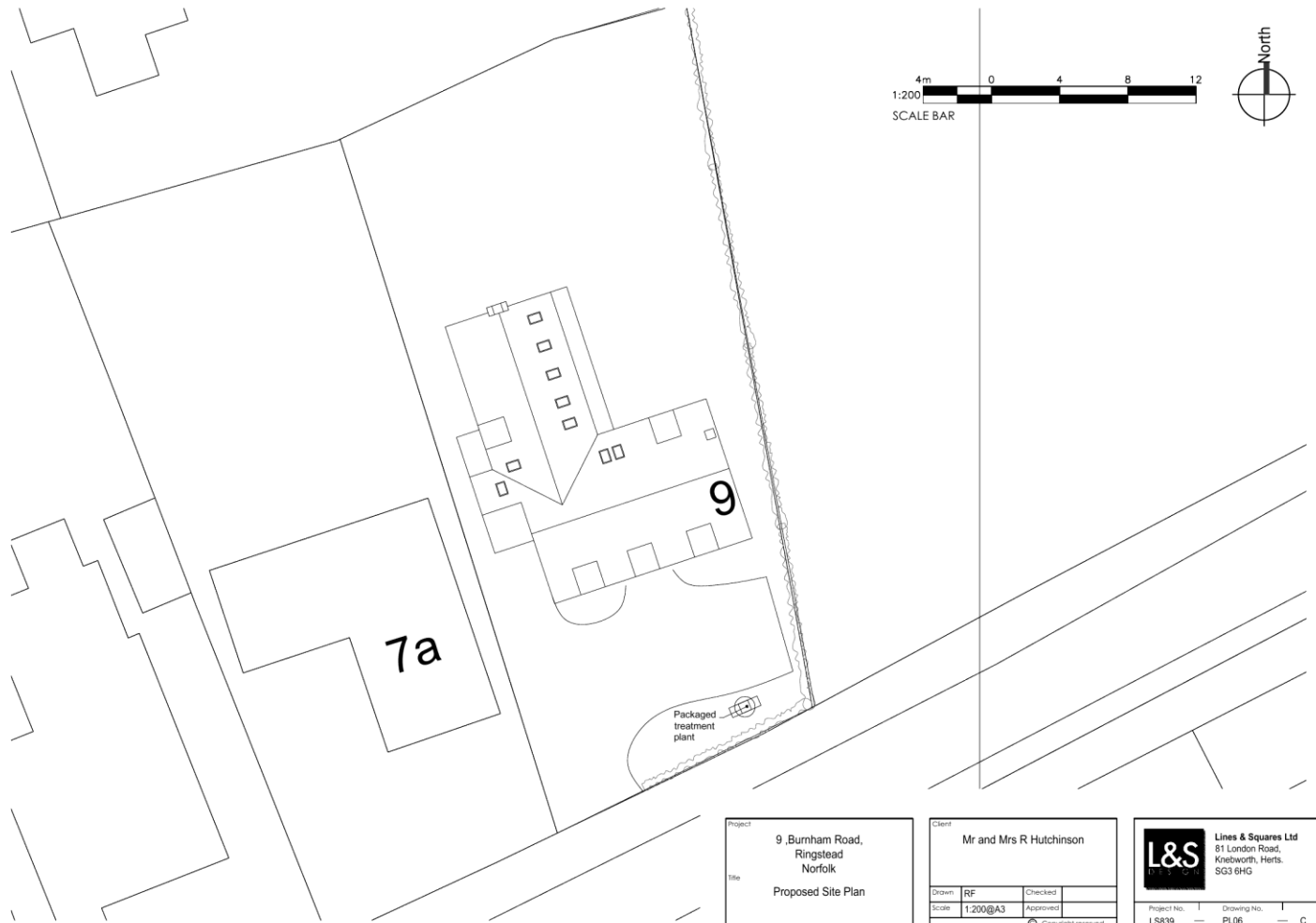


Project	9, Burnham Road, Ringstead Norfolk	
Title	Proposed Elevations	

Client	Mr and Mrs R Hutchinson	
Drawn	RF	Checked
Scale	1:100@A3	Approved
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<b>L&amp;S</b>	Lines & Squares Ltd		
	81 London Road, Knebworth, Herts. SG3 6HG		
Project No.	—	Drawing No.	—
LS839	—	PL05	— C

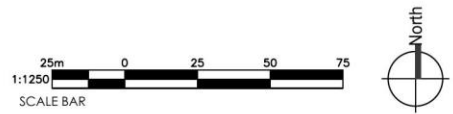
43



Project	9 Burnham Road, Ringstead Norfolk	
Title	Proposed Site Plan	

Client	Mr and Mrs R Hutchinson	
Drawn	RF	Checked
Scale	1:200@A3	Approved
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	PL06	C



44



Project	9, Burnham Road, Ringstead Norfolk	
Title	Location Plan	

Client	Mr and Mrs R Hutchinson	
Drawn	RF	Checked
Scale	1:200@A3	Approved
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Project No.	1	Drawing No.	1
LS839	-	PL07	-

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Along East boundary of the site



49



View of West boundary

50



View of North boundary



51



View of East boundary

52



Rear of the existing bungalow



53



View of No 7a's (neighbour) windows with the existing bungalow



54



View along the South side of Burnham Road

55



View looking East out of the village on Burnham Road



View looking East out of the village on Burnham Road from Google Maps



57





View looking east out of the village on Burnham Road from Google Maps



CGI of the proposed dwelling provided by the Planning Agent

Speaker Slides  
Bill Jacob  
Ringstead Parish  
Council

09



Ringstead Neighbourhood Plan – Approved February 2025

The draft Neighbourhood Plan has been available since January 2024. The approved Plan includes the following statement:

**DESIGN:** Ringstead is a very attractive village, and any new housing will need to respect its character ... effort should be made to retain the character and setting of this, ensuring it is not diluted through inappropriate new development and large extensions to small properties or replacement of small bungalows by large houses which occupy most of a small plot. ... Any future development should respond to the existing settlement pattern ... The design of any new homes is considered important to the community. Local people feel that emphasis should be on ensuring new development does not harm the character of the village.



**THE CURRENT APPROACH INTO RINGSTEAD FROM CHOSELEY ALONG THE BURNHAM ROAD IS DISTINCTIVE AND ATTRACTIVE WITH AGRICULTURAL BUILDINGS, FIELDS AND BUNGALOWS. IT CREATES THE SETTING FOR THE FEEL OF THE VILLAGE.**



**THE APPROVED DESIGN GUIDANCE AND CODES INCLUDES GENERAL GUIDELINES FOR NEW DEVELOPMENT:  
THE TYPICAL GROUPING OF BUILDINGS ARE BUNGALOWS WITH ROOF LINES THAT HARMONISE AND ENHANCE THE  
EXISTING SETTLEMENT IN TERMS OF PHYSICAL FORM, ARCHITECTURE AND LAND USE**

***(NOTE SIGNIFICANT REMOVAL OF MATURE VEGETATION AND TREES PRIOR TO SUBMISSION OF THE PLANNING APPLICATION)***



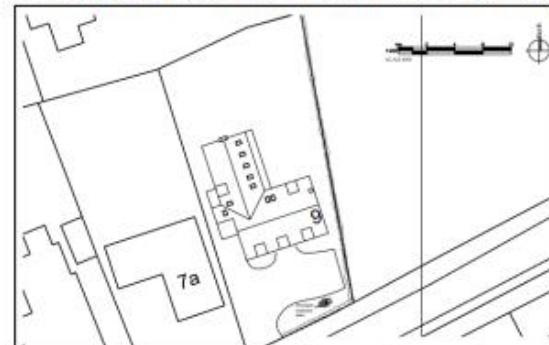
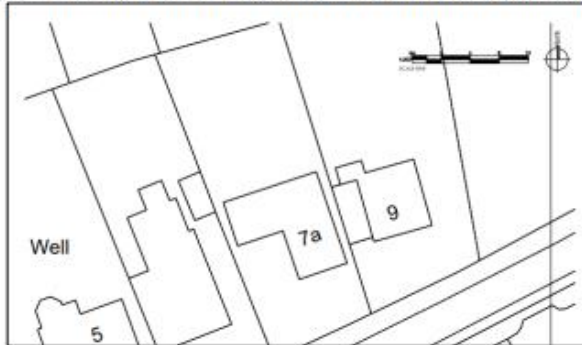
**THE CURRENT VIEW INTO RINGSTEAD ALONG BURNHAM ROAD IS OF LOW-LEVEL BUILDINGS THAT BLEND IN WITH THE OPENESS OF THE ADJOINING AGRICULTURAL LANDSCAPE AND TRADITIONAL HEDGEROWS.**

**THE DEVELOPMENT ON THE LEFT IS SET WELL BACK FROM THE ROAD AND MASKED BY TRADITIONAL FARM BUILDINGS.**



A road with c  
AI-generated

**THE SCALE, HEIGHT, FORM AND MASSING OF THE PROPOSED NEW DWELLING DOES NOT REINFORCE OR ENHANCE THE ESTABLISHED SETTLEMENT CHARACTER, IT WILL SIGNIFICANTLY CHANGE THE STREETSCENE WHEN ENTERING THE VILLAGE. THE INCREASE IN THE BUILT AREA WITHIN THE PLOT IS SIGNIFICANT – IT IS NOT JUST THE HEIGHT OF THE CHALK GABLE END, BUT ALSO THE SIZE OF THE REAR WING THAT WILL ALTER THE DISTINCTIVENESS OF THE CURRENT STREETSCENE.**





24/02069/F

65



66



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PETER HUMPHREY ASSOCIATES

ADDRESS: 2 CHAPEL ROAD, WISBECH, CAMBS, PE13 1RG. TELEPHONE: 01945 466966 E-MAIL: info@peterhumphrey.co.uk WEB: www.peterhumphrey.co.uk

CLIENT MR & MRS FAIRBROTHER

PROJECT PROPOSED DWELLING

SITE LAND WEST OF 'WALNUT LODGE' 34 SMALL LODE UPWELL NORFOLK PE14 9BA

DRAWING PLANNING DRAWING 6

JOB NO. 6948/06B	PAPER SIZE A3	DATE MAY 2024
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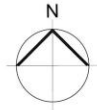
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**PLANNING SCHEDULE:-**

- T1 = Horse Chestnut
- T2 = Ash
- T3 = Horse Chestnut
- T4-6 = Cherry Blossom
- T7-9 = Magnolia
- T10 = Birch
- T11 = Dove
- T12-13 = Fruit trees
- H = Hedge (Diverse Species Mix), see ecology report.
- W1 = Mixed Solid (See BNG report)
- W2 = Building walls
- W3 = Mild Tower
- W4 = Iron gates
- SP = Strata



A.  
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**PETER HUMPHREY ASSOCIATES**

ADDRESS: 2 CHAPEL ROAD, WISBECH, CAMBS, PE13 1RG.  
 TELEPHONE: 01955 656565  
 E-MAIL: info@peterhumphrey.co.uk  
 WEB: www.peterhumphrey.co.uk

CLIENT:  
 MR & MRS FAIRBROTHER

PROJECT:  
 PROPOSED DWELLING

SITE:  
 LAND WEST OF 'WALNUT LODGE'  
 34 SMALL LODGE  
 UPWELL,  
 NORFOLK  
 PE14 9BA

DRAWING:  
 PLANNING DRAWING 4

JOB NO. 6948/04H PAPER SIZE A2 DATE MAY 2024

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Proposed Front Elevation 1:100



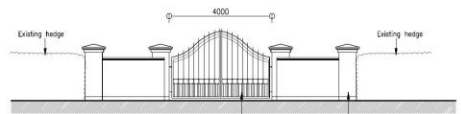
Proposed Side Elevation 1:100



Proposed Rear Elevation 1:100



Proposed Side Elevation 1:100



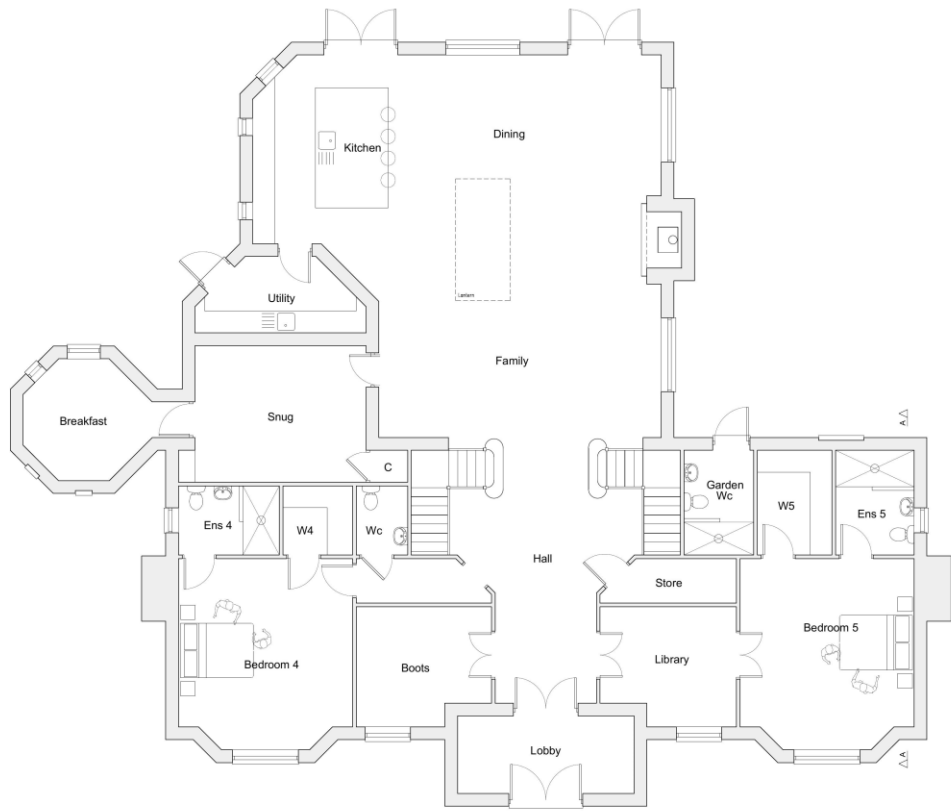
Proposed Entrance Detail 1:100

69

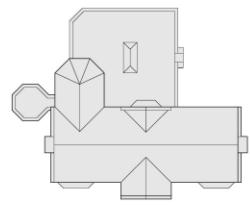
A - REVISIONS		
DATE	REVISIONS	BY
6/5/2019	A2	MAY 2024
<p><b>Notes:</b></p> <p>All drawings shall be in accordance with the Building Regulations unless otherwise stated. It is the responsibility of the client to ensure that all drawings are submitted to the appropriate authority for approval. It is the responsibility of the client to ensure that all drawings are submitted to the appropriate authority for approval.</p> <p>The Architectural Design and Management Regulations 2014.</p> <p>Peter Humphrey Associates Form of agreement with the client confirms whether the drawings are prepared in accordance with the Building Regulations unless otherwise stated. It is the responsibility of the client to ensure that all drawings are submitted to the appropriate authority for approval.</p> <p>The client confirms that the drawings are for the proposed development and that the client understands that the drawings are not to be used for any other purpose without the written consent of Peter Humphrey Associates.</p>		
<p><b>CLIENT:</b> MR &amp; MRS FAIRBROTHER</p> <p><b>PROJECT:</b> PROPOSED DWELLING</p> <p><b>DATE:</b> 14/05/2024</p> <p><b>LOCATION:</b> LAND WEST OF WALNUT LODGE, 34 SMALL LODGE, UPWELL, NORFOLK, PE14 9BA</p> <p><b>DRAWING:</b> PLANNING DRAWING 1</p>		

**PETER HUMPHREY ASSOCIATES**  
 ADDRESS: 2 CHAPEL ROAD, WISBECH, CAMBS, PE25 1RS  
 TELEPHONE: 01453 852856  
 E-MAIL: info@peterhumphrey.co.uk  
 WEB: www.peterhumphrey.co.uk

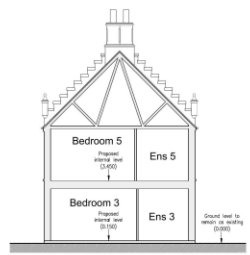
69



Proposed Ground Floor Plan 1:50



Proposed Roof Plan 1:200

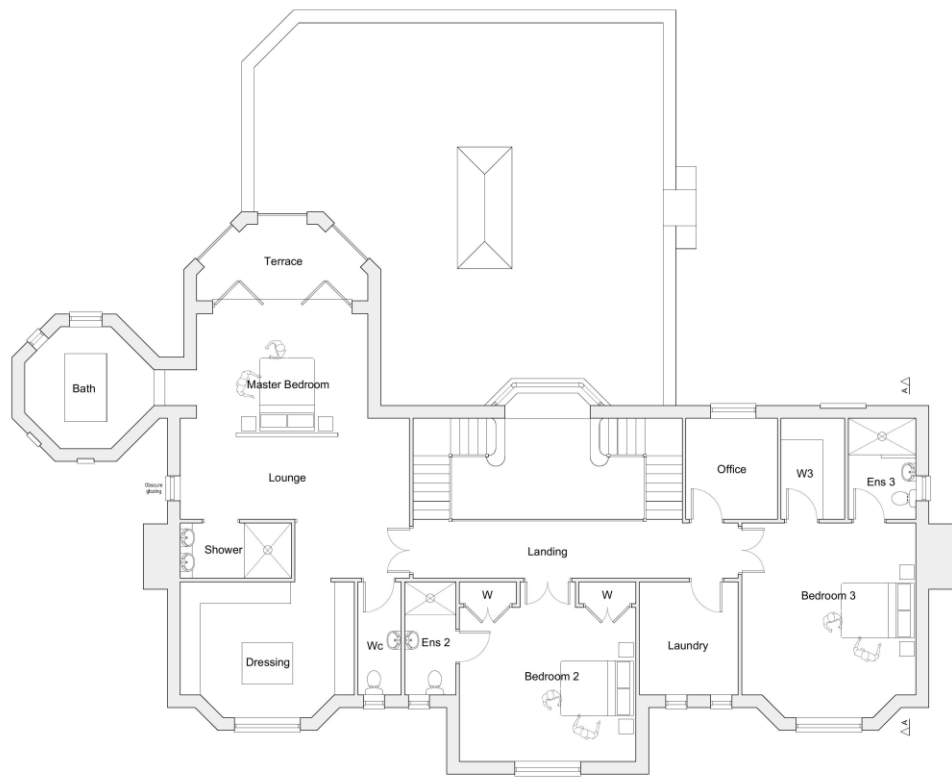


Proposed Section A-A 1:100

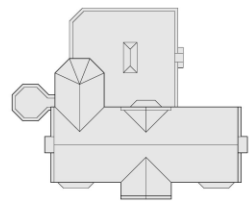
**PHA**  
**PETER HUMPHREY ASSOCIATES**  
 ADDRESS: 2 CHAFFEL ROAD, WISBECH, CAMBS PE13 9HG  
 TELEPHONE: 01753 44999  
 EMAIL: info@peterhumphrey.co.uk  
 WWW: www.peterhumphrey.co.uk  
 CLIENT: MR & MRS FAIRBROTHER  
 PROJECT: PROPOSED DWELLING  
 SITE: LAND WEST OF 'WALNUT LODGE' 34 SMALL LODGE LIPWELL NORFOLK PE14 8BA  
 DRAWING: PLANNING DRAWING 2  
 SHEET: 6948/02D A1 DATE: MAY 2024

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 7. The drawings are not to be used for any other purpose without the written consent of Peter Humphrey Associates Ltd.  
 8. The drawings are not to be used for any other purpose without the written consent of Peter Humphrey Associates Ltd.  
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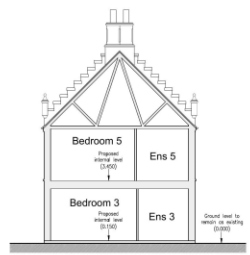
70



Proposed First Floor Plan 1:50



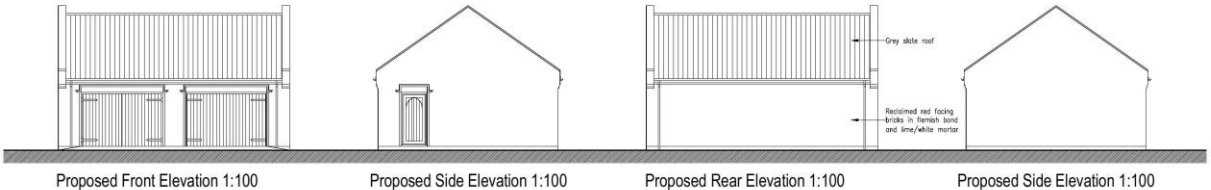
Proposed Roof Plan 1:200



Proposed Section A-A 1:100

PHA  
**PETER HUMPHREY ASSOCIATES**  
 ADDRESS: 2 CHAPEL ROAD, WISBECH, CAMBS PE13 1HG  
 TELEPHONE: 01753 44999  
 EMAIL: info@peterhumphrey.co.uk  
 WEB: www.peterhumphrey.co.uk  
 CLIENT: MR & MRS FARBROTHER  
 PROJECT: PROPOSED DWELLING  
 SITE: LAND WEST OF 'WALNUT LODGE' 34 SMALL LODGE LIPWELL, NORFOLK, PE14 9BA  
 DRAWING: PLANNING DRAWING 3  
 SHEET: 6948/03D A1 DATE: MAY 2024

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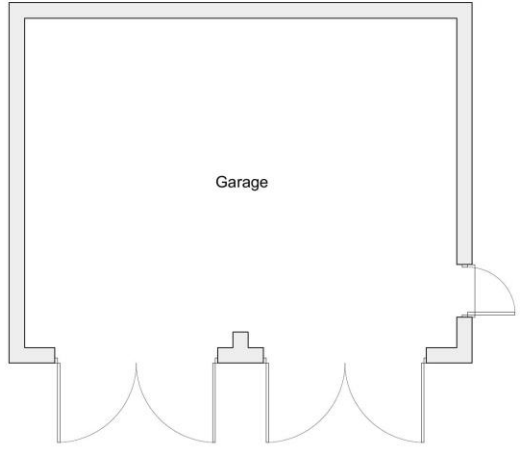
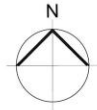


Proposed Front Elevation 1:100

Proposed Side Elevation 1:100

Proposed Rear Elevation 1:100

Proposed Side Elevation 1:100



Proposed Floor Plan 1:50



Proposed Roof Plan 1:50

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**PETER HUMPHREY ASSOCIATES**  
 ADDRESS: 2 CHAPEL ROAD, WISBECH, CAMBS, PE13 1HG.  
 TELEPHONE: 01845 466966  
 E-MAIL: info@peterhumphrey.co.uk  
 WEB: www.peterhumphrey.co.uk

CLIENT  
 MR & MRS FAIRBROTHER

PROJECT  
 PROPOSED DWELLING

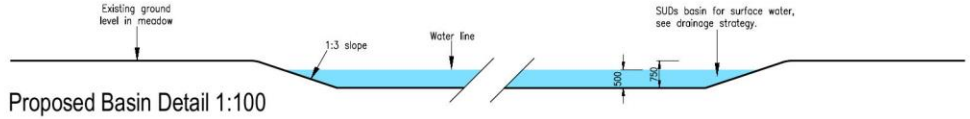
SITE  
 LAND WEST OF 'WALNUT LODGE'  
 34 SMALL LODGE  
 UPWELL  
 NORFOLK  
 PE14 9BA

DRAWING  
 PLANNING DRAWING 7

JOB NO.	PAPER SIZE	DATE
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Proposed Basin Detail 1:100

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PETER HUMPHREY ASSOCIATES

ADDRESS: 2 CHAPEL ROAD, WISBECH, CAMBS, PE13 1RG. TELEPHONE: 01945 466966 E-MAIL: info@peterhumphrey.co.uk WEB: www.peterhumphrey.co.uk

CLIENT MR & MRS FAIRBROTHER

PROJECT PROPOSED DWELLING

SITE LAND WEST OF 'WALNUT LODGE' 34 SMALL LODGE UPWELL NORFOLK PE14 9BA

DRAWING PLANNING DRAWING 8

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73



The site

View from in front of Church towards site

The site



74





No.20



The site



Walnut Lodge



75

View further Northwards

76



Rear part of site abutting Welle Manor Hall



77



View Northwards towards site frontage

78



View Eastwards along site frontage



79



Existing/former entrance point

80



View westwards along site frontage from in front of Walnut Lodge





81



View Southwards from gap in hedge Welle Manor Hall beyond



# Speaker Slides

# Sarah Fairbrother

82

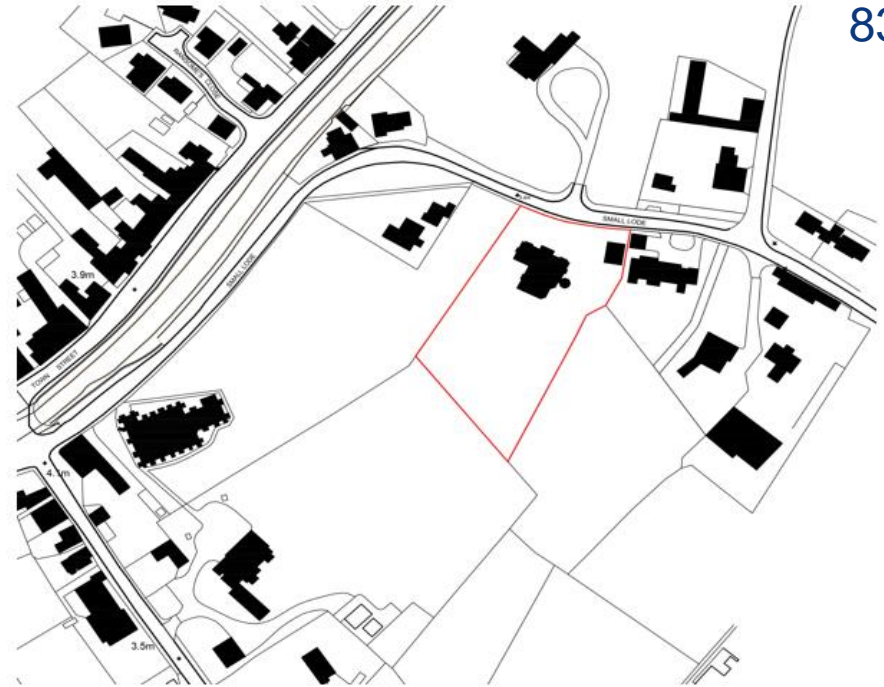


83





Photo showing application site with building markers



Massing diagram

**Para 135 of the NPPF states that planning decisions should ensure that developments are sympathetic to local character and history, whilst not preventing or discouraging innovation or change – we feel that our design is in keeping with the surroundings and would enhance, not erode the quality of the conservation area.**



Neighbouring properties

- **Land currently has no overriding community benefit and is within the existing built environment. The built form of the village has extended way past the application site.**
- **Land does not constitute a buffer between existing dwellings and site is a frontage plot located immediately adjacent to the development boundary.**
- **Upwell Neighbourhood Plan Housing Policy 3 – ‘does not intend to discourage innovation, which will be welcomed’ – this design and landscaping accords with innovation.**



Church no longer visible from Small Lode due to construction of garage next to application site

- **Para 212 National Planning Policy Framework 'local planning authorities should look for opportunities for new development within conservation areas and within the setting of heritage assets to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset should be treated favourably'.**
- **The site is a logical infill site, in a sustainable location, which will positively enhance and complement the conservation area and heritage assets.**
- **Proposals are therefore in accordance with both local and national policies.**

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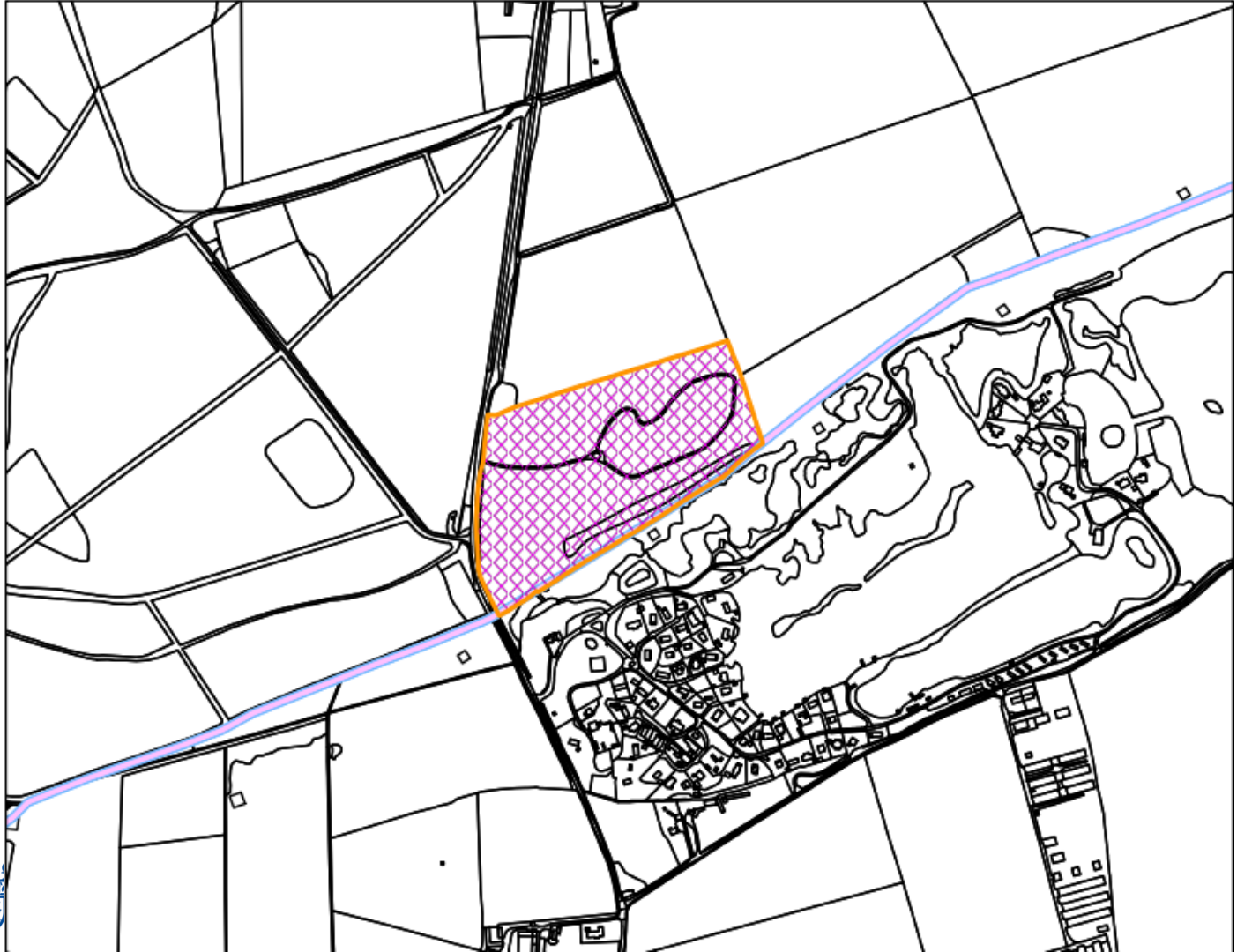
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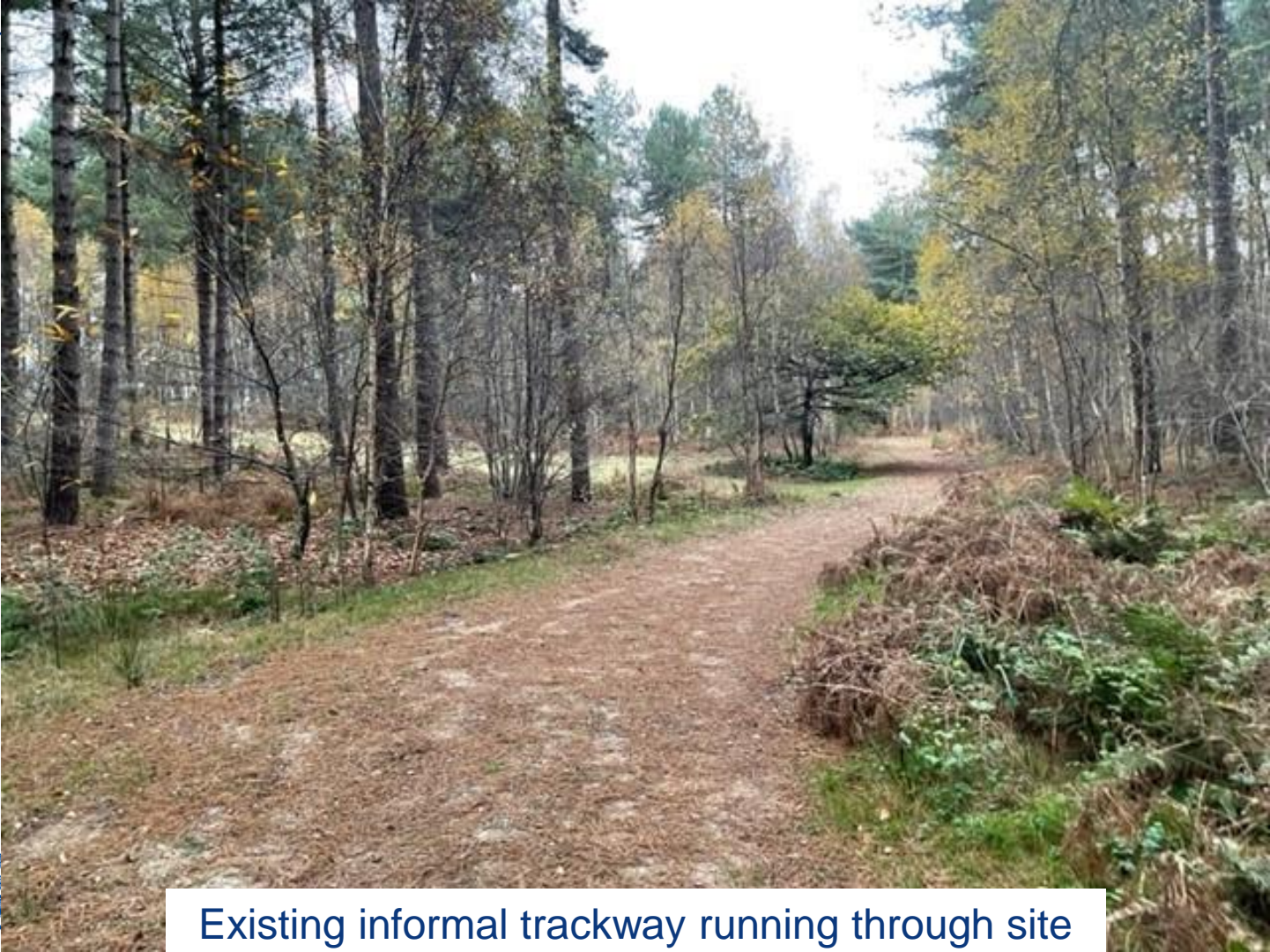
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Existing informal trackway running through site



View of grassland towards west of site (seasonal changes)

93

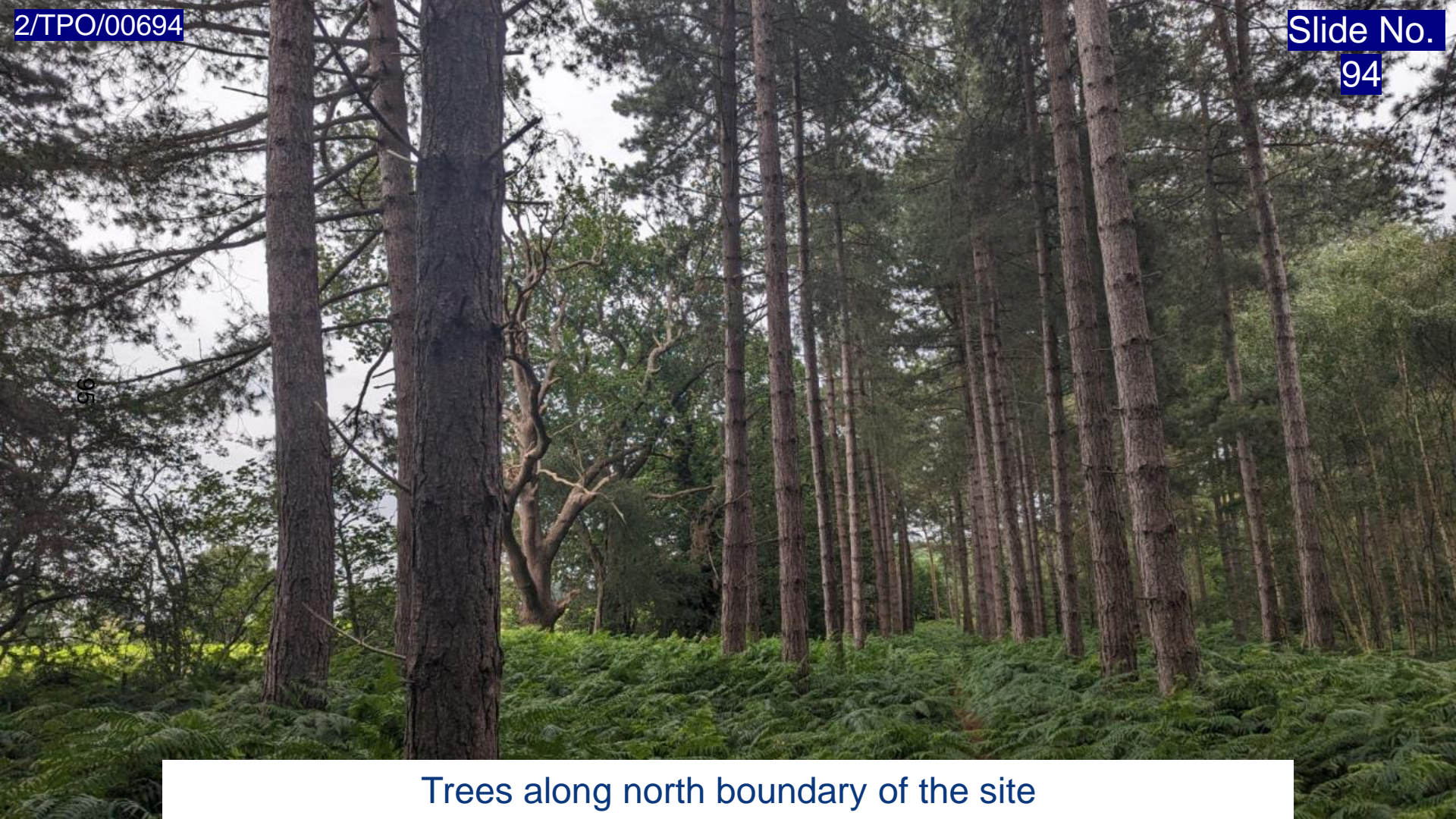


View from entry gates into woodland

94



View of larger open area



96

Trees along north boundary of the site



96

Mature native planting





97

Mature native planting

98

Mix of tree species within the woodland



# End of Presentation

66



